

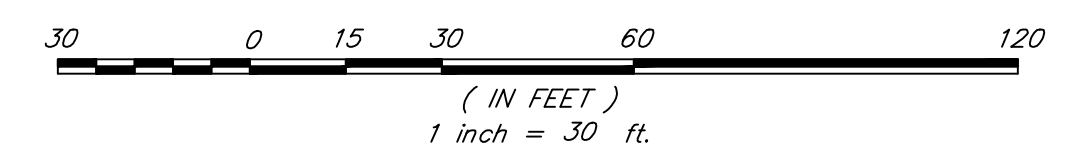
- SITE SKETCH NOTES:**
1. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X, AS PER F.E.M.A. F.I.R.M. NUMBER 45015C 0695 E, EFFECTIVE DATE: DECEMBER 7, 2018.
 2. AREA WAS DETERMINED BY COORDINATE METHOD.
 3. HORIZONTAL DATUM = NAD '83
VERTICAL DATUM = NAVD '88
 4. BERKELEY COUNTY TMS NUMBERS, 259-00-00-125 & -170.
 5. THE PUBLIC RECORDS REFERENCED ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 6. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
 7. PROPERTY MAY BE SUBJECT TO EASEMENTS AND RESTRICTIONS NOT OBVIOUS OR APPARENT TO THE SURVEYOR.
 8. THIS SITE AREA IS ZONED PD.
 9. THERE ARE WETLANDS ON SUBJECT PROPERTY AS SHOWN
 10. SUBJECT TO CHANGE PER ENGINEERING PLANS.

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C1	12.50'	19.63'	90°00'00"	17.68'	S 80°32'29" E
C2	87.00'	17.46'	11°29'51"	17.43'	S 29°47'33" E
C3	451.00'	52.85'	6°42'50"	52.82'	N 27°24'02" W
C4	12.50'	9.08'	41°36'26"	8.88'	S 09°57'13" E

LINE	LENGTH	BEARING
L1	41.61'	S54°27'31" W
L2	20.00'	N35°32'29" W
L3	19.88'	N35°32'29" W
L4	6.78'	S54°27'31" W
L5	23.18'	N35°32'29" W
L6	217.56'	N24°02'37" W
L7	147.57'	N30°45'27" W
L8	24.26'	N29°49'08" W
L9	11.12'	N29°49'08" W
L10	56.88'	N58°28'17" E
L11	6.02'	N16°14'28" W
L12	24.81'	N67°17'33" E
L13	6.81'	N67°17'33" E
L14	59.64'	S30°09'51" E
L15	70.89'	N57°21'53" E
L16	128.08'	N57°15'13" E
L17	63.74'	S21°30'17" E
L18	100.00'	N68°29'43" E

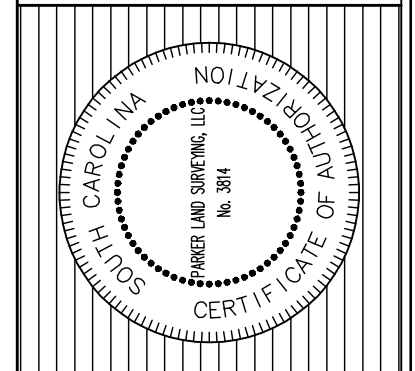
GREENWAY AT BOWEN SITE SUMMARY

TOTAL BOUNDARY = 4.138 AC.
 TOTAL NUMBER OF SINGLE FAMILY & TOWN HOME LOTS = 36
 TOTAL LOTS AREA = 1.060 AC.
 AVERAGE LOT SIZE = 20'x65' = 1.300 S.F.
 MULTI PURPOSE BUILDING = 1

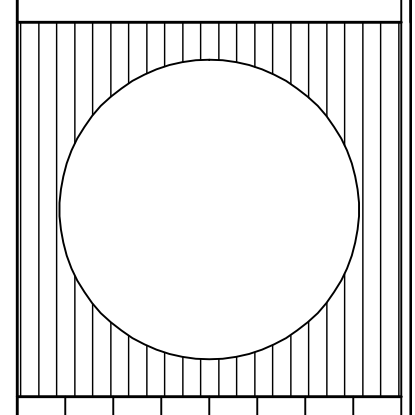
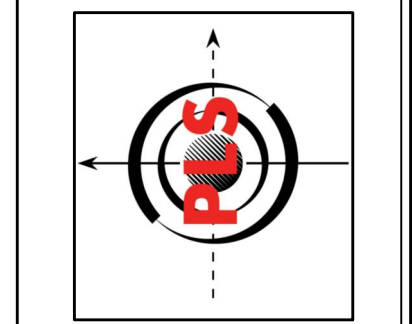


NO.	DATE	REVISIONS

TITLE
SITE SKETCH
 GREENWAY AT FOSTER CREEK VILLAGE
 AT FOSTER CREEK VILLAGE
 CITY OF HANAHAN
 BERKELEY COUNTY, SOUTH CAROLINA



Parker Land Surveying, LLC
 5910 Griffin Street
 Hanahan, SC 29410
 Phone: (843) 554-7177
 Fax: (843) 554-7779



DESIGNED : —
 DRAWN : MMV
 CHECKED : MMV
 APPROVED : ACC
 SCALE : 1" = 30'
 DATE : 1/8/2021
 PROJECT NO. : 10046
 SHEET 7 OF 1

MAYOR
CHRISTIE RAINWATER

CITY ADMINISTRATOR
MIKE COCHRAN



CITY COUNCIL
JEFF C. CHANDLER, MAYOR PRO-TEM
MIKE DYSON
KEVIN HEDGPETH
JOEL E. HODGES
DAN OWENS
MICHAEL SALLY

Staff Report

To: The Hanahan Planning Commission
Cc: Larry Sturdivant, Building Official; Garri Steade, Prestwick Development; Wes Bolin, PE, Site Design, Inc.
From: Jeff Hajek, Planner/Economic Development Director
Date: February 2, 2021
Re: Preliminary Land Development Plan Approval for The Park at Hanahan Senior Living Development

Applicant/Owner: Prestwick Development
Location: Northside of Tanner Ford Boulevard, west of Hanahan Crossing (Super BiLo) Shopping Center
Tax Map Number(s): 259-00-00-145
Approval Requested: Preliminary Development Plan Approval
Existing Zoning/Land Use: Multifamily Residential (RM)/undeveloped

General Application Overview and Background

The proposed site is located on the northern side of Tanner Ford Boulevard, adjacent to the Tanner Ford Boulevard and Tanner Hall Boulevard intersection. The existing site is currently undeveloped and consists of wooded uplands, with a small portion of wetlands in the northern area of the parcel. The subject property is flanked by an approximately one-hundred-foot-wide wetlands property to the west and north, the Hanahan Crossing Shopping Center (Lowe's Foods) to the east and Tanner Ford Boulevard to the south.

The applicant is proposing to construct a four-story multifamily building, with 72 units, on a 3.15-acre parcel. Units range from 760 SF (48 units) to 970 SF (24 units). To allow for resident and guest parking, one parking lot, consisting of 108 stalls, will be provided in the northern area of the property behind the apartment building. The required amount of parking stalls (1.5 parking stalls for every apartment unit) has been met, in addition to the ADA parking stall requirement.

The majority of the parcel will be developed into housing and parking (56% lot coverage), with open space, which will be slightly under one (1) acre (22% of the development) and will be maintained by the owner.

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Proposed access will be primarily off Tanner Ford Boulevard for the development and will be a “right in/right out” configuration. Secondary access will be through the Hanahan Crossing shopping center. The developer is proposing sidewalks throughout the development. Additionally, the owner is proposing a sidewalk from the subject property, along the primary access, to connect with the existing Tanner Trail, a pedestrian and bicycle pathway.

Utilities for Charleston Water System (CWS), Berkeley County Water and Sanitation Authority (BCWS) and Dominion Power are existing and little infrastructure enhancements, other than connections and extensions will be needed.

Consistency with RM Ordinance

Overall, the proposed multifamily use is compatible with the surrounding zoning districts, which are Single-Family Residential (RS) to the west of the site and General Commercial (CG) to the east of the site. The proposed development will provide a proper transition from RS to CG, concerning intensity of use and gradation of densities. Additionally, the intended use of the property, proposed solely for the City’s senior population, will fit the character of the surrounding neighborhoods and commercial area.

Furthermore, as mentioned in the Background section, nearly a third of the property’s western boundary consists of wetlands. This heavily wooded area will remain and act as a buffer between the proposed development and The Gardens at Tanner Plantation subdivision, providing a natural transition to the development. Technically, this wooded, wetland property (owned by the original seller) is zoned Commercial (CG), so the developer is not required to provide a landscaped buffer. The developer will also be providing generous buffers along the southern and eastern sides of the development. Again, these buffers are not required because they abut a commercial zone but will nonetheless enhance the property and its surroundings.

Lastly, the intended use, senior multifamily housing, provides a much-needed housing typology for the City. Currently, there are no senior apartment communities anywhere in Hanahan, and current residents are forced to look outside of the City to find this type of housing or figure out other arrangements. Additionally, the proposed development will be located adjacent to a grocery store, restaurants and the first segment of the Tanner Trail, all of which aid in providing a pedestrian-oriented community that allows its residents the ability to “age in place” in their city.



General Conformance Analysis

The following report utilized the 2008 Hanahan Zoning Ordinance, specifically Section 4.5.6 (Multifamily Residential [RM]) to analyze the submitted preliminary land development plan for the Park at Hanahan development.

Per the Zoning Ordinance, staff finds the following general conformance standards for the proposed site:

1. **Lot size**—Section 4.5.6 does not require a minimum lot size for proposed multifamily developments.
2. **Lot Width**— There is no minimum lot width.
3. **Density**— 35 units per acre maximum. The proposed development meets this requirement currently at approximately 22.8 units per acre.
4. **Setbacks**—All proposed building sites meet the required setbacks as dictated by the ordinance. Below are the required:
 - Front: 15'
 - Side: 20'
 - Rear: 15'
5. **Impervious Surface Ratio**—65% maximum allowed. Developer is proposing 56% lot coverage.

Preliminary Plat Requested Corrections

Given that the submitted preliminary subdivision plat meets general zoning conformance, there are other pertinent and required elements needed to have a complete submittal. These documentation requirements may be found in the 2008 Zoning Ordinance, Section 3.2. The following will be needed for approval;

Required Contents of the Preliminary Plan (Section 3.2)

Proposed Land Development Information

1. **Section 3.2(B)(4)(b)**: Proposed name for “New Right In/Right Out Driveway” will need to be pre-approved by Berkeley County E-911.
2. Detention pond will need to be shown on Sheet C200 (Site Plan). Pond is shown on C400 (Grading and Drainage Plan) and L100 (Landscape Plan).

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Other

Fire/EMS Public Safety

The Fire Chief (Joseph Bowers) is requesting an additional one (1) fire hydrant to the currently proposed two (2) hydrants. Said fire hydrant will need to be placed in the southwestern corner of the parcel, adjacent to the primary access and near the southwestern corner of the proposed apartment building.

Traffic Study

Per Section 3.3, a traffic study is required as part of a complete preliminary land development plan application or zoning permit for any land development projected to generate one hundred (100) or more peak-hour vehicle trips at any intersection at the perimeter of the development.

Currently, the developer is working with Berkeley County and utilizing supplementary TIA (Traffic Impact Analysis) data provided by the adjacent development, Parker's Kitchen to complete their traffic study.

Submittal to Respective Utilities

The applicant will need to ensure that the preliminary plan has been submitted to Charleston Water System (CWS), Berkeley County Water and Sanitation (BCWS) and Berkeley County Engineering for general review and review for stormwater management.

Copies of the eventual construction plans will also need to be submitted to Berkeley County Engineering. Comments received by said agencies may affect changes to the preliminary plan.

Recommendation

This plan constitutes a preliminary plat subdivision submittal. Approval of this plan does not imply approval of permits to begin construction. Approval of this application will enable the developer to seek permits for land disturbance and installation of necessary infrastructure to serve this phase of the project. Subsequent to approval to install infrastructure, the applicant must submit a final plat that depicts all easements provided for its maintenance, whether by a public

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agency or property owners association. Such plat must be approved and recorded prior to transfer of individual lots depicted on this plan.

Based upon staff's review, the City recommends that the Planning Commission **approve** the submitted preliminary land development plan for the "The Park at Hanahan" senior, multifamily development with conditions. Said conditions include:

1. Addressing all requested information in the "Preliminary Plat Requested Corrections" section of this staff report.
2. Addressing all "Other" requested information in this staff report, which includes: "Fire/EMS Public Safety" and "Traffic Study."
3. Receipt of recommendation/approval letters from CWS, BCWS and Berkeley County Engineering.

EROSION CONTROL NOTES

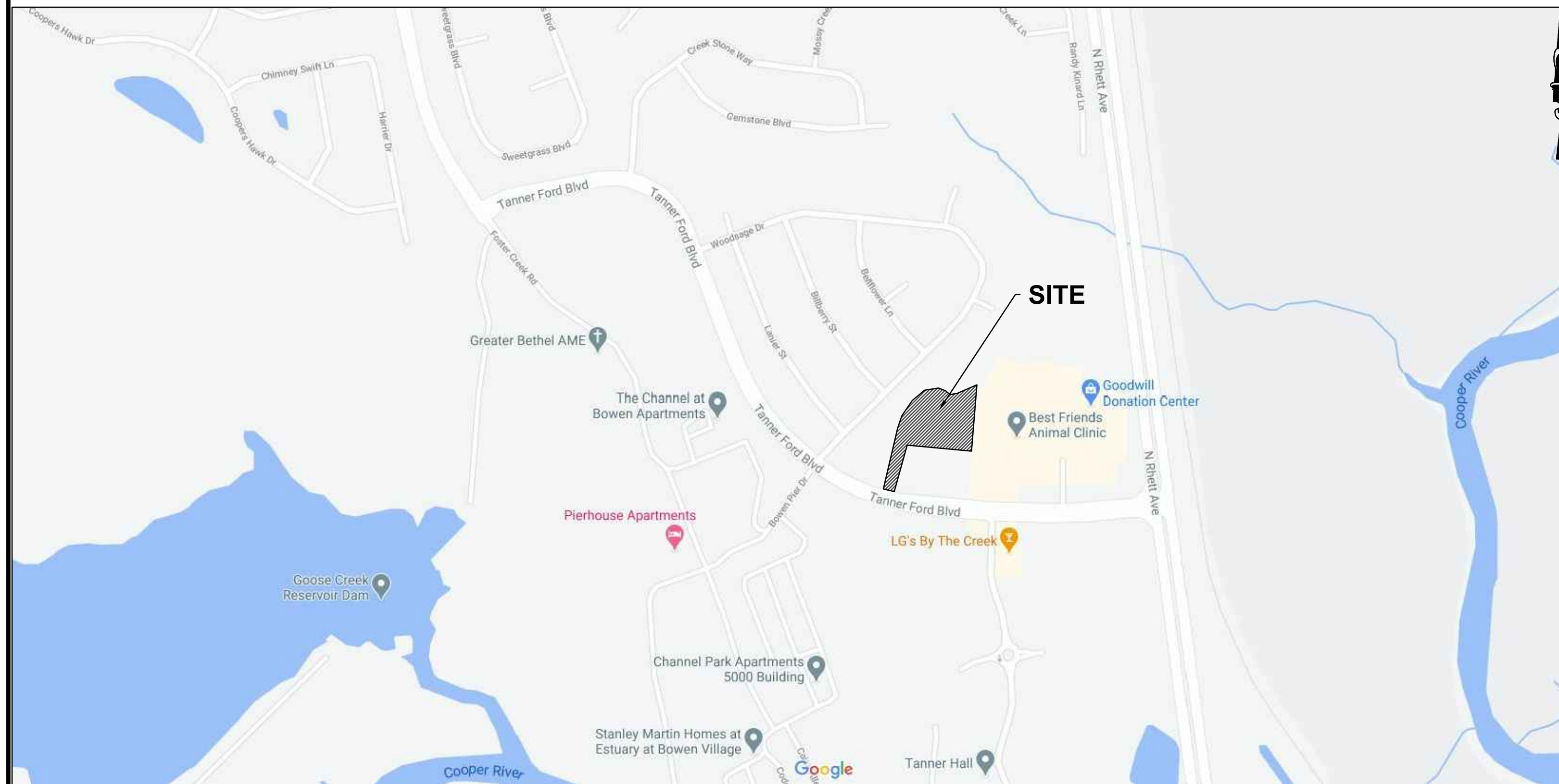
- SUBJECT PROPERTY:
 - TAX MAP NO. 2590000145
 - 1000 TANNER FORD BLVD, HANAHAN, SC
 - BERKELEY COUNTY
 - SOIL TYPE: DuA, DuB (Duplin), Be (Bethera) HYDROLOGIC SOIL GROUP C/D; BoB (Bonneau) HSG B
- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONING PRIOR TO BEGINNING ANY PROJECT EARTH DISTURBING ACTIVITIES.
- TO SECURE THE PROJECT SITE, LOCATE LIMITS OF CONSTRUCTION, PROTECT AREAS THAT ARE TO REMAIN UNDISTURBED, AND PREVENT MIGRATION OF CONSTRUCTION DEBRIS, ORANGE CONSTRUCTION FENCING SHALL BE INSTALLED AROUND AREAS NOT REQUIRING SILT FENCING. ANY ACCUMULATION OF CONSTRUCTION DEBRIS ON PUBLIC ROADWAYS OR ADJACENT PROPERTIES SHALL BE REMOVED WITHIN 24 HOURS. CARE SHALL BE TAKEN WHEN INSTALLING CONSTRUCTION FENCING TO NOT OBSCURE ONCOMING TRAFFIC AT INTERSECTIONS, ADJACENT DRIVEWAYS AND THE PROJECT CONSTRUCTION ENTRANCE.
- CONTRACTOR(S) TO MAINTAIN EROSION CONTROL MEASURES UNTIL GRASSING IS ESTABLISHED. OWNER WILL BE RESPONSIBLE FOR EROSION CONTROL MAINTENANCE THEREAFTER.
- A CERTIFIED EROSION PREVENTION AND SEDIMENT CONTROL (CEPSC) INSPECTOR SHALL BE MAINTAINED TO PROVIDE INSPECTION AND DOCUMENTATION OF EP&SC PRACTICES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH SCDHEC REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE A SUITABLE RAIN GAUGE ON SITE AND RECORD DAILY RAINFALL AMOUNTS. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR WITHIN 1 BUSINESS DAY IF A RAINFALL EVENT EQUAL TO OR GREATER THAN 0.5" HAS OCCURRED AT THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 INCH OR MORE OF PRECIPITATION. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY. WRITTEN INSPECTION REPORTS SHALL BE KEPT ON SITE. IF POSSIBLE, SUPPORTING PHOTOGRAPHS SHALL ALSO BE RECORDED ALONG WITH THE INSPECTION REPORT. A WRITTEN MAINTENANCE RECORD OF ALL REPAIRS TO SEDIMENT/EROSION CONTROL DEVICES SHALL ALSO BE MAINTAINED AND KEPT ON SITE. REGULAR MAINTENANCE SHALL ALSO BE PERFORMED INCLUDING REMOVAL OF SILT FROM AROUND CATCH BASINS AND REPAIR CONSTRUCTION ENTRANCE AS NEEDED TO PREVENT OFFSITE SEDIMENTATION.
- ANY MODIFICATIONS FROM THE APPROVED PLANS TO THE SEDIMENT/EROSION CONTROL FEATURES INSTALLED ON SITE SHALL BE RECORDED WITH INITIALS AND DATE ON THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE DESIGN ENGINEER SHALL BE NOTIFIED. THE DESIGN ENGINEER SHALL BE NOTIFIED IF ANY MAJOR CHANGES IN THE SWPPP ARE REQUIRED.
- ALL DISTURBED AREAS SHALL RECEIVE TOPSOIL & BE GRASSED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - A. LIME: 2 TONS PER ACRE
 - B. FERTILIZER: 1000 LBS PER ACRE OF 10-10-10
 - C. SEED: PER GRASSING SCHEDULE DETAIL
 - D. MULCH: 1.5 TONS PER ACRE - WHEAT STRAW

IF TEMPORARY VEGETATION IS REQUIRED TO ASSIST IN SILTATION CONTROL, FOLLOW THE GRASSING SCHEDULE DETAIL.
- SOIL DISTURBANCE SHOULD BE LIMITED TO AREAS BEING ACTIVELY WORKED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
- SLOPES STEEPER THAN 3:1 AND/OR EXCEEDING EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH FLEX TERRA OR SYNTHETIC/VEGETATIVE MATS IN ADDITION TO HYDRO SEEDING. TEMPORARY SLOPE DRAINS SHALL BE INSTALLED AS NECESSARY DURING CONSTRUCTION WHERE SAID SLOPES EXCEED EIGHT (8) VERTICAL FEET.
- CAT TRACK OR SURFACE ROUGHENING IS REQUIRED FOR ALL SLOPES GREATER THAN 4:1 PRIOR TO SEEDING AND LYING OF SYNTHETIC OR VEGETATIVE MATS. CAT TRACKING OR SURFACE ROUGHENING SHALL PRODUCE A SURFACE WITH FURROWS RUNNING ACROSS THE SLOPE, PARALLEL WITH SLOPE CONTOURS, AND PERPENDICULAR TO SURFACE RUNOFF.
- SILT FENCES SHALL BE CLEANED OR REPLACED WHEN SEDIMENT REACHES 1/3 HEIGHT OF THE FENCE OR WHEN THE SILT FENCE BECOMES INEFFECTIVE, WHICHEVER COMES FIRST.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO WATERS OF THE STATE.
- SILT FENCE SHALL BE INSTALLED ALONG LINES OF EQUAL ELEVATION. TIE BACKS SHALL BE INSTALLED EVERY 100 LINEAR FEET ALONG THE FENCE LINE.
- SILT FENCING SHALL BE PLACED NO CLOSER THAN 5 FT. DOWNHILL FROM THE TOE OF ANY FILL AREA.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- DURING THE COURSE OF CONSTRUCTION ACTIVITIES EROSION AND SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT ACCUMULATION ON PUBLIC ROADWAYS (INCLUDING STREET GUTTERS), SEDIMENT LADEN RUNOFF FROM ENTERING INTO EXISTING STORM WATER SYSTEM INLETS OR DEPOSITING ON ADJACENT PROPERTIES, AND AIRBORNE DUST MIGRATION OFF-SITE. ANY ACCUMULATION OF SEDIMENT FROM THE PROJECT SITE ON PUBLIC ROADWAYS OR ADJACENT PROPERTIES SHALL BE REMOVED WITHIN 24 HOURS.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- THE CONTRACTOR SHALL CONTROL DUST AS NECESSARY USING DUST CONTROL BMPs INCLUDING PROJECT PHASING, VEGETATIVE COVER, MULCH, SPRINKLING WATER, BARRIERS AND/OR COVERS.
- TEMPORARY STOCKPILING OF USEABLE OR WASTE MATERIALS FOR MORE THAN SEVEN (7) DAYS SHALL HAVE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED. THE CONTRACTOR SHALL PROVIDE STOCKPILE MANAGEMENT PER BMPs AS DESCRIBED IN THE SCDOT WATER QUALITY PROTECTION DURING CONSTRUCTION FIELD MANUAL (JANUARY 2004) SECTION 8.6. ACTIVE STOCKPILES SHALL BE COVERED, STABILIZED OR PROTECTED WITH TEMPORARY LINEAR SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION.
- TEMPORARY STOCKPILES SHALL BE PLACED A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED STORM WATER FLOWS, DRAINAGE COURSES, STORM WATER INLET STRUCTURES, ADJACENT PROPERTY, AND PUBLIC ROADWAYS. REPAIR AND/OR REPLACE PERIMETER CONTROLS AS NECESSARY. SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES 1/3 OF THE BARRIER HEIGHT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ANY SEDIMENT CONTROL DEVICES NEEDED OR REQUIRED AT BORROW OR HAIL AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GRADING AND/OR MINING PERMIT FOR OFFSITE BORROW PITS AND/OR STOCKPILE AREAS.
- SOLID WASTE DISPOSAL SHALL BE IN COMPLIANCE WITH SCDHEC SOLID WASTE REGULATIONS AND SPARTANBURG COUNTY NUISANCE ORDINANCE.
- THE CONTRACTOR SHALL ESTABLISH AN APPROPRIATE AREA ON SITE FOR TOPSOIL STORAGE. STOCKPILE SHALL BE STABILIZED AND SILT FENCE SHALL BE INSTALLED TO PREVENT SEDIMENTATION. CONTRACTOR SHALL COORDINATE WITH LANDSCAPING CONTRACTOR AND OWNER FOR DISTRIBUTION OF TOPSOIL ON SITE.
- ALL EXISTING OR NEW STORM WATER STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED CONSTRUCTION DEBRIS OR SEDIMENTS FROM THIS PROJECT SITE. DISPOSAL OF ALL RECOVERED SEDIMENTS AND CONSTRUCTION DEBRIS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR AND OWNER SHALL ALLOW BERKELEY COUNTY OR OTHER IMPLEMENTING AGENCY TO CONDUCT ONSITE INSPECTIONS.
- A MINIMUM 10' WIDE BUFFER SHALL BE MAINTAINED ALONG THE EDGES OF ALL WETLANDS DURING DEMOLITION AND CONSTRUCTION ACTIVITY.
- TEMPORARY TOILETS, IF USED DURING CONSTRUCTION, SHALL NOT BE PLACED WITHIN 50' OF AN EXISTING OR PROPOSED STORMDRAIN INLET OR OUTLET.
- TEMPORARY CONCRETE TRUCK WASH OUT AREAS SHALL NOT BE PLACED WITHIN 50' OF AN EXISTING OR PROPOSED STORMDRAIN INLET.
- ANY GROUNDWATER ENCOUNTERED WHILE TRENCHING MUST BE FILTERED PRIOR TO DISCHARGE.

The contractor shall coordinate with the engineer of record for a digital staking plan to establish complete horizontal and vertical control. The contractor is responsible for survey stakeout of all improvements. Discrepancies between the plans, construction stakes, and field conditions shall be reported to the engineer of record immediately for resolution prior to installation of proposed improvements."

THE PARK AT HANAHAN

CITY OF HANAHAN BERKELEY COUNTY, SOUTH CAROLINA



STANDARD SCDHEC NOTES

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR10000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES FOR NON-NEAR PROJECTS THAT DISTURB 10 ACRES OR MORE. THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

ENCROACHMENT NOTES

- PRIOR TO CONSTRUCTION ALL EROSION CONTROL FEATURES SHALL BE INSTALLED PER THE SWPPP.
- CONTRACTOR SHALL FOLLOW ALL SCDOT APPROVED TRAFFIC CONTROL STANDARDS DURING CONSTRUCTION.
- EMERGENCY SERVICES (911) SHALL BE NOTIFIED PRIOR TO ROAD CLOSURES AND/OR REROUTING.
- WHERE SIDEWALKS INTERSECT ROADS, HANDICAPPED RAMPS SHALL BE INSTALLED PER SCDOT AND BERKELEY COUNTY SPECIFICATIONS
- NEW SIDEWALK TO BE INSTALLED IN ACCORDANCE WITH SCDOT STD. DRAWING 720-6 AND 720-7.

SITE DATA	
SITE ADDRESS	1000 TANNER FORD BLVD HANAHAN, SC 29410
OWNER/DEVELOPER	THE PARK AT HANAHAN, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: GARRI STEED
CIVIL ENGINEER	SITE DESIGN, INC. 225 ROCKY CREEK ROAD GREENVILLE, SC 29615
ARCHITECT	GEHEBER LEWIS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
ZONING	RM (MULTIFAMILY RESIDENTIAL)
PROPOSED USE	INDEPENDENT LIVING 48 - 1BR UNITS 24 - 2BR UNITS
TAX MAP #	PART Tm# 2590000145
PARCEL AREA	3.15 ACRES
SETBACKS	FRONT: 15' SIDES: 20' REAR: 25'

SHEET INDEX

TITLE	SHEET NUMBER
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C200 - SITE PLAN	3
C210 - SITE DETAILS	4
C211 - SITE DETAILS	5
C400 - GRADING & DRAINAGE PLAN	6
C410 - STORMDRAIN DETAILS	7
C411 - STORMDRAIN DETAILS	8
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C511 - SANITARY SEWER DETAILS	11
L000 - EXISTING TREE PLAN	12
L100 - LANDSCAPE PLAN	13
L101 - LANDSCAPE DETAILS	14

CONSTRUCTION SCHEDULE

TASKS	MONTH											
	1	2	3	4	5	6	7	8	9	10	11	12
DETERMINE LIMITS OF CONST.	H											
INSTALL CONSTRUCTION ENTRANCE	H											
CLEAR AND GRUB SITE		H										
GRADE SITE AREAS		H										
INSTALL STORM DRAIN			H									
HOUSE CONSTRUCTION				H								
PAVING OPERATIONS				H								
FINAL GRASSING AND LANDSCAPING										H		
REMOVE EROSION CONTROL MEASURES											H	
MAINT. OF SED AND EROSION											H	
CLOSEOUT PERMIT												H

CAUTION



Know what's below.
Call before you dig.

TOTAL SITE
DISTURBANCE:
2.8 ACRES

24-HOUR CONTACT
GARRI STEEDE
478-453-8900

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SITE DESIGN, INC.

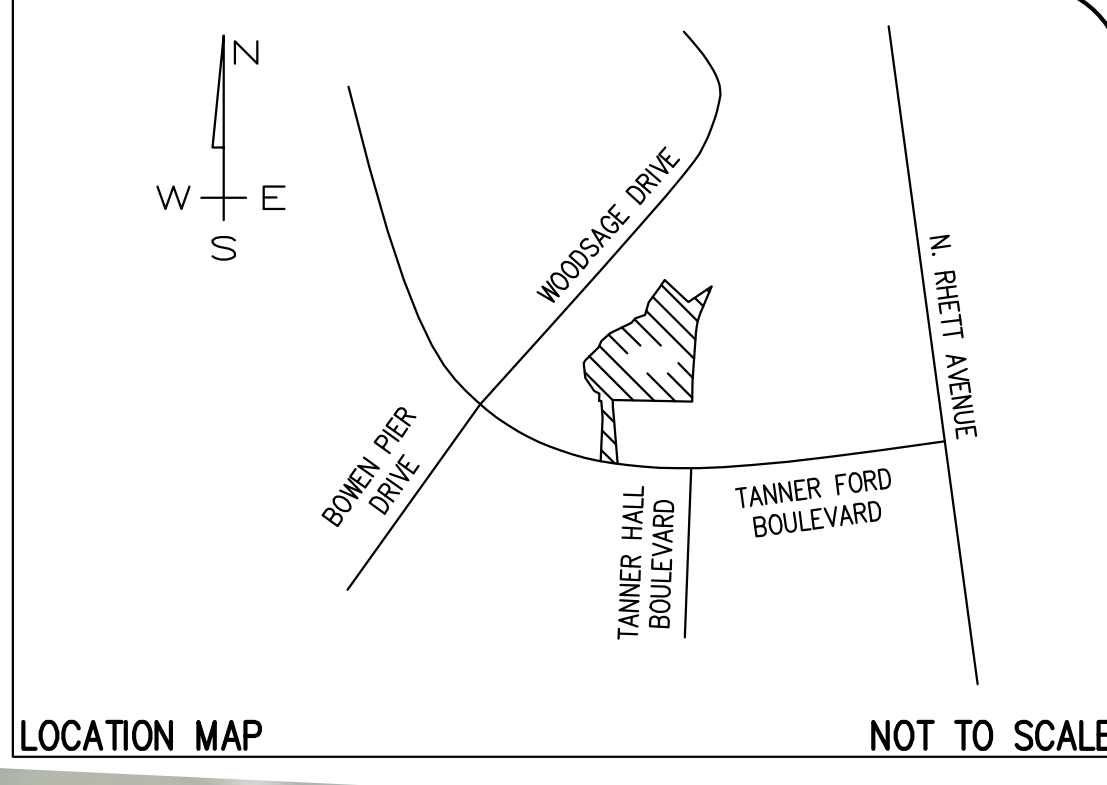
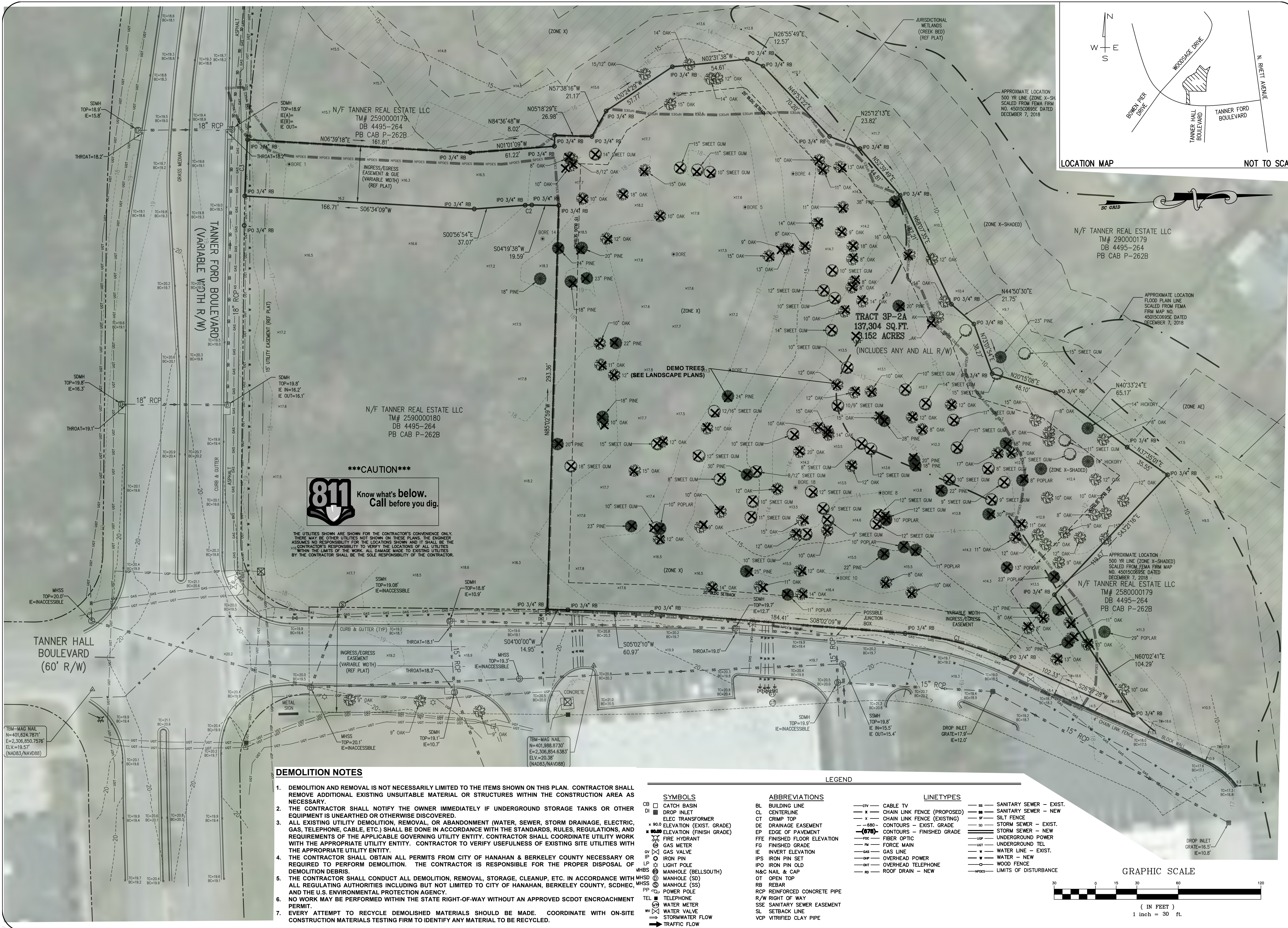
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www.sitedesign-inc.com
225 ROCKY CREEK RD
GREENVILLE, SC 29615
PH: (864)271-0496

THE PARK AT HANAHAN

SEAL	C.O.A.	REVISIONS	
		10.	
		9.	
		8.	
		7.	
		6.	
		5.	
		4.	
		3.	
		2.	
		1.	
		SHEET NUMBER	1 OF XX



DEMOLITION NOTES

- DEMOLITION AND REMOVAL IS NOT NECESSARILY LIMITED TO THE ITEMS SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE ADDITIONAL EXISTING UNSUITABLE MATERIAL OR STRUCTURES WITHIN THE CONSTRUCTION AREA AS NECESSARY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF UNDERGROUND STORAGE TANKS OR OTHER EQUIPMENT IS UNEARTHED OR OTHERWISE DISCOVERED.
- ALL EXISTING UTILITY DEMOLITION, REMOVAL, OR ABANDONMENT (WATER, SEWER, STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, CABLE, ETC.) SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS, RULES, REGULATIONS, AND REQUIREMENTS OF THE APPLICABLE GOVERNING UTILITY ENTITY. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH THE APPROPRIATE UTILITY ENTITY. CONTRACTOR TO VERIFY USEFULNESS OF EXISTING SITE UTILITIES WITH THE APPROPRIATE UTILITY ENTITY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM CITY OF HANAHAN & BERKELEY COUNTY NECESSARY OR REQUIRED TO PERFORM DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION, REMOVAL, STORAGE, CLEANUP, ETC. IN ACCORDANCE WITH ALL REGULATING AUTHORITIES INCLUDING BUT NOT LIMITED TO CITY OF HANAHAN, BERKELEY COUNTY, SCDHEC, AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
- NO WORK MAY BE PERFORMED WITHIN THE STATE RIGHT-OF-WAY WITHOUT AN APPROVED SCOT ENCROACHMENT PERMIT.
- EVERY ATTEMPT TO RECYCLE DEMOLISHED MATERIALS SHOULD BE MADE. COORDINATE WITH ON-SITE CONSTRUCTION MATERIALS TESTING FIRM TO IDENTIFY ANY MATERIAL TO BE RECYCLED.

SYMBOLS

CB	CATCH BASIN	BL	BUILDING LINE
DI	DROP INLET	CL	CENTERLINE
ET	ELEC TRANSFORMER	CT	CRIMP TOP
EL	ELEVATION (EXIST. GRADE)	DE	DRAINAGE EASEMENT
FF	ELEVATION (FINISH GRADE)	EP	EDGE OF PAVEMENT
FF	FIRE HYDRANT	FFE	FINISHED FLOOR ELEVATION
FM	GAS METER	FG	FINISHED GRADE
GV	GAS VALVE	IE	INVERT ELEVATION
IP	IRON PIN	IPO	IRON PIN SET
LP	LIGHT POLE	IPO	IRON PIN OLD
MBS	MANHOLE (BELLSOUTH)	N&C	NAIL & CAP
MHS	MANHOLE (GS)	OT	OPEN TOP
MSS	MANHOLE (SS)	RB	REBAR
PP	POWER POLE	RCP	REINFORCED CONCRETE PIPE
TEL	TELEPHONE	R/W	RIGHT OF WAY
WM	WATER METER	SSE	SANITARY SEWER EASEMENT
WV	WATER VALVE	SL	SETBACK LINE
WF	WATER FLOW	VCP	VITRIFIED CLAY PIPE
STW	STORMWATER FLOW		
TRF	TRAFFIC FLOW		

ABBREVIATIONS

BL	BUILDING LINE	CL	CENTERLINE
CT	CRIMP TOP	DE	DRAINAGE EASEMENT
EP	EDGE OF PAVEMENT	FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE	IE	INVERT ELEVATION
IPO	IRON PIN SET	IPO	IRON PIN OLD
N&C	NAIL & CAP	OT	OPEN TOP
RB	REBAR	RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY	SSE	SANITARY SEWER EASEMENT
SL	SETBACK LINE	VCP	VITRIFIED CLAY PIPE

LINETYPES

---	CABLE TV	---	SANITARY SEWER - EXIST.
-x-	CHAIN LINK FENCE (PROPOSED)	---	SANITARY SEWER - NEW
-x-	CHAIN LINK FENCE (EXISTING)	---	SILT FENCE
-x-	CONTOURS - EXIST. GRADE	---	STORM SEWER - EXIST.
-x-	CONTOURS - FINISHED GRADE	---	STORM SEWER - NEW
---	FIBER OPTIC	---	UNDERGROUND POWER
---	FORCE MAIN	---	UNDERGROUND TEL
---	GAS LINE	---	WATER LINE - EXIST.
---	OVERHEAD POWER	---	WATER - NEW
---	OVERHEAD TELEPHONE	---	WOOD FENCE
---	ROOF DRAIN - NEW	---	LIMITS OF DISTURBANCE

SITE DESIGN, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

www.sitedesign-inc.com
 225 ROCKY CREEK ROAD
 FARMERSVILLE, GA 30215
 PH: (678) 271-0066

DATE: _____

10.	NO.
9.	NO.
8.	NO.
7.	NO.
6.	NO.
5.	NO.
4.	NO.
3.	NO.
2.	NO.
1.	NO.

THIS DRAWING IS THE PROPERTY OF SITE DESIGN, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF SITE DESIGN, INC. FURTHERMORE, THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF THIS SPECIFIC PROJECT.

SC. REG. NO. 24201

THE PARK AT HANAHAN

**CITY OF HANAHAN
 BERKELEY COUNTY
 SOUTH CAROLINA**

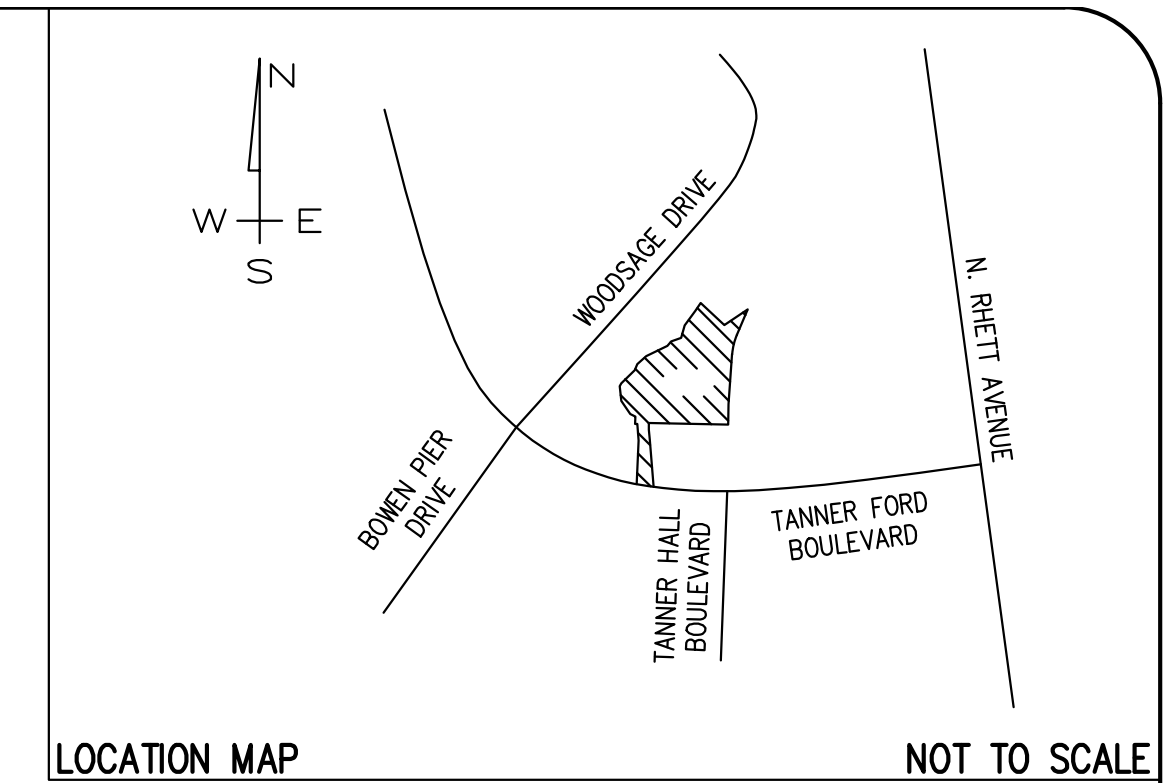
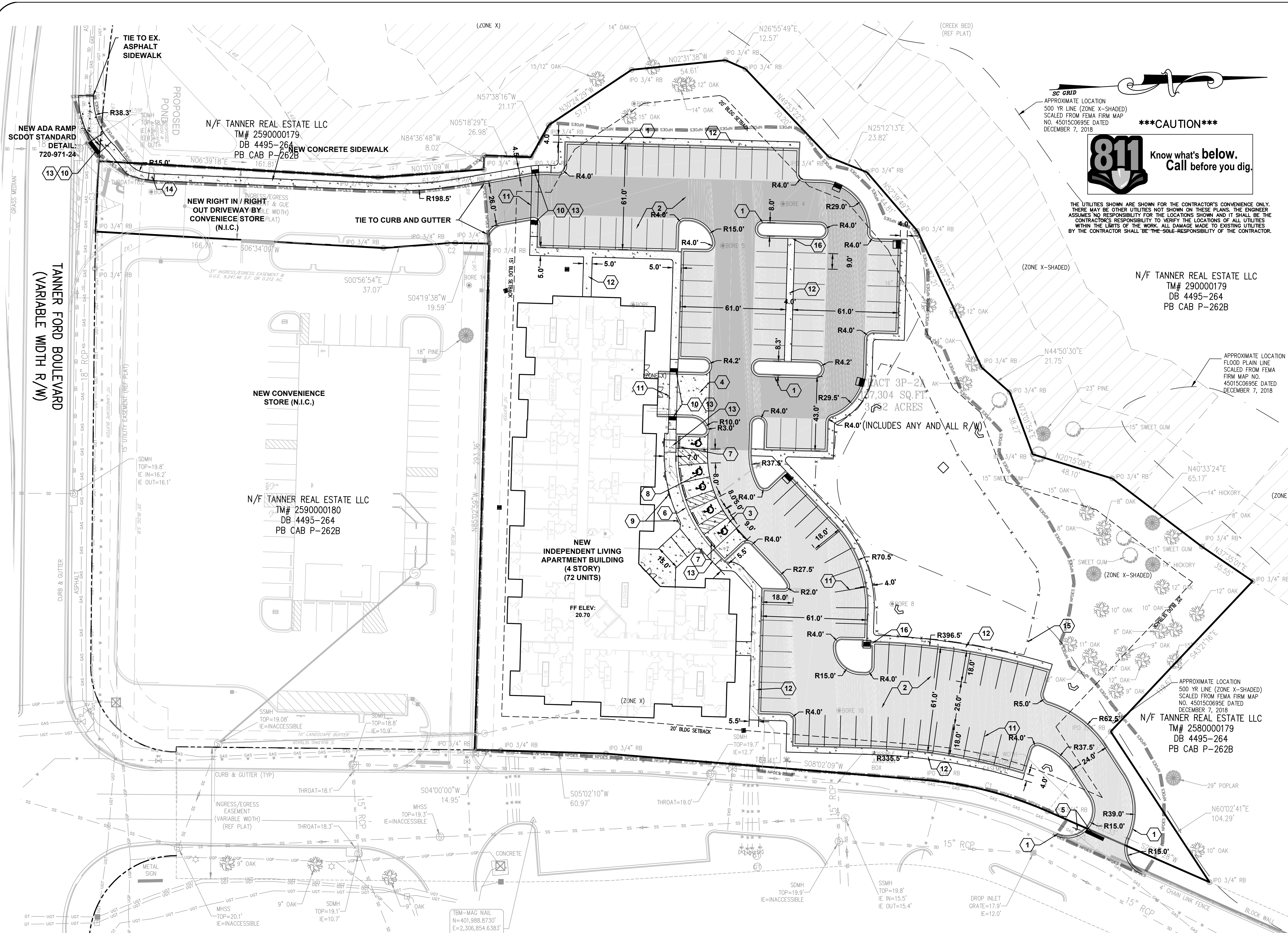
**THE PARK AT HANAHAN, LP
 3715 NORTHSIDE PKWY, NW
 BLDG 400, SUITE 120
 ATLANTA, GA 30327**

HORIZ. SCALE:	1" = 30'
VERT. SCALE:	N/A
DESIGNED BY:	WTB
DRAWN BY:	WTB
CHECKED BY:	CSW
DATE:	12/7/2020

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET 2 OF XX

C100



SITE DATA	
SITE ADDRESS	1000 TANNER FORD BLVD HANAHAN, SC 29410
OWNER/DEVELOPER	THE PARK AT HANAHAN, LP 3715 NORTHSIDE PARKWAY, NW BUILDING 200, SUITE 175 ATLANTA, GA 30327 CONTACT: GARRI STEED
CIVIL ENGINEER	SITE DESIGN, INC. 225 ROCKY CREEK ROAD GREENVILLE, SC 29615
ARCHITECT	GEHEBER LEWIS ASSOCIATES 649 11TH ST. ATLANTA, GA 30318
ZONING	RM (MULTIFAMILY RESIDENTIAL)
PROPOSED USE	INDEPENDENT LIVING 48 - 1BR UNITS 24 - 2BR UNITS
TAX MAP #	PART TM# 259000145
PARCEL AREA	3.15 ACRES
SETBACKS	FRONT: 15' SIDES: 20' REAR: 25'

KEYED NOTES	
1	18" CONCRETE CURB AND GUTTER
2	ASPHALT PAVING (SEE LEGEND FOR TYPE)
3	LIGHT DUTY CONCRETE PAVING
4	HEAVY DUTY CONCRETE PAVING
5	STOP SIGN & 24" STOP BAR
6	PAVEMENT FLUSH WITH SIDEWALK
7	WHEEL STOP (TYPICAL AT ALL ADA PARKING SPOTS)
8	ADA PARKING SPACE & ACCESS AISLES 1-1/2% (2% MAX) SLOPE IN ALL DIRECTIONS
9	HANDICAP SIGN (TYPICAL AT ALL ADA PARKING SPOTS)
10	DETECTABLE WARNING SURFACE
11	4" PAINTED STRIPE
12	CONCRETE SIDEWALK
13	ADA RAMP
14	CURB FLUME WITH SIDEWALK CROSS DRAIN
15	4" HIGH BLACK VINYL COATED CHAINLINK FENCE WITH 10' WIDE DOUBLE SWING GATE
16	2' WIDE CURB OPENING

ASPHALT LEGEND	
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT

- SITE NOTES:**
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
 - DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
 - ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
 - CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
 - THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
 - ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
 - ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
 - ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
 - TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.

LEGEND

SYMBOLS	ABBREVIATIONS	LINETYPES
<ul style="list-style-type: none"> CB CATCH BASIN DI DROP INLET ET ELEC. TRANSFORMER 800 ELEVATION (EXIST. GRADE) 8000 ELEVATION (FINISH GRADE) GH GAS HYDRANT GM GAS METER GV GAS VALVE IP IRON PIN IP LIGHT POLE MHBS MANHOLE (BELLSOUTH) MHSD MANHOLE (SD) MHSS MANHOLE (SS) PP POWER POLE TEL TELEPHONE WM WATER METER WV WATER VALVE SWF STORMWATER FLOW TF TRAFFIC FLOW 	<ul style="list-style-type: none"> BL BUILDING LINE CL CENTERLINE CT CRIMP TOP DE DRAINAGE EASEMENT EP EDGE OF PAVEMENT FFE FINISHED FLOOR ELEVATION FG FINISHED GRADE IE INVERT ELEVATION IPS IRON PIN SET IPO IRON PIN OLD N&C NAIL & CAP OT OPEN TOP RB REBAR RCP REINFORCED CONCRETE PIPE R/W RIGHT OF WAY SSE SANITARY SEWER EASEMENT SL SETBACK LINE VCP VITRIFIED CLAY PIPE 	<ul style="list-style-type: none"> -CTV- CABLE TV -CX- CHAIN LINK FENCE (PROPOSED) -EX- CHAIN LINK FENCE (EXISTING) -680- CONTOURS - EXIST. GRADE -678- CONTOURS - FINISHED GRADE -FOC- FIBER OPTIC -FM- FORCE MAIN -GAS- GAS LINE -OP- OVERHEAD POWER -OHT- OVERHEAD TELEPHONE -RD- ROOF DRAIN - NEW SS SANITARY SEWER - EXIST. SS SANITARY SEWER - NEW SILT FENCE SD STORM SEWER - EXIST. SD STORM SEWER - NEW UGP UNDERGROUND POWER UGT UNDERGROUND TEL W- WATER LINE - EXIST. W- WATER - NEW W- WOOD FENCE WDPS- LIMITS OF DISTURBANCE

GRAPHIC SCALE
1 inch = 30 ft.

811 Know what's below. Call before you dig.

CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

N/F TANNER REAL ESTATE LLC
TM# 290000179
DB 4495-264
PB CAB P-262B

ACT 3P-2A
27,304 SQ. FT.
3.82 ACRES
R4.0" (INCLUDES ANY AND ALL R/W)

N/F TANNER REAL ESTATE LLC
TM# 258000179
DB 4495-264
PB CAB P-262B

PARKING CALCULATIONS			
USE TYPE	USE CALCULATIONS	MINIMUM SPACES REQUIRED	MINIMUM CALCULATED SPACES
PROPOSED BUILDING			
Attached Residence	72	1.5 spaces per unit	108
		TOTAL SPACES REQUIRED	108
		TOTAL REGULAR SPACES PROVIDED	103
		TOTAL ADA SPACES PROVIDED	5
		TOTAL PARKING SPACES PROVIDED	108

The contractor shall coordinate with the engineer of record for a digital staking plan to establish complete horizontal and vertical control. The contractor is responsible for survey stakeout of all improvements. Discrepancies between the plans, construction stakes, and field conditions shall be reported to the engineer of record immediately for resolution prior to installation of proposed improvements.

SITE DESIGN, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

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225 ROCKY CREEK ROAD
GREENVILLE, SC 29615
PH: (864) 271-0066

SC. REG. NO. 24201

THE PARK AT HANAHAN

CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

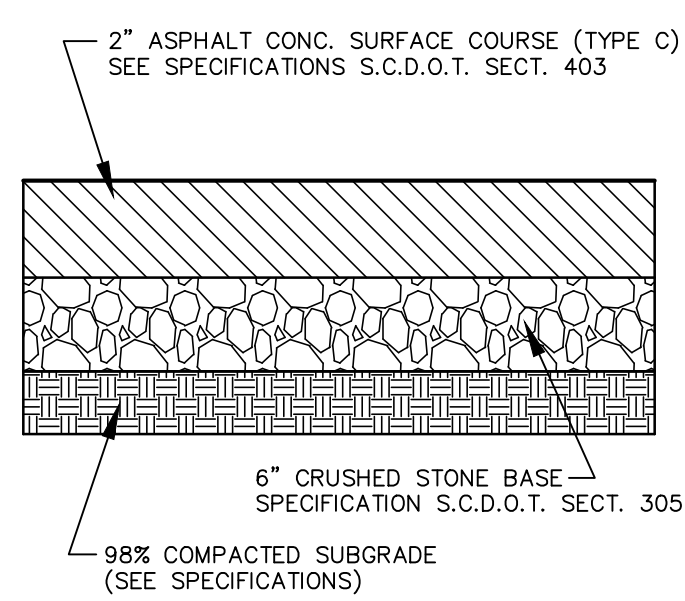
HORIZ. SCALE: 1" = 30'
VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: CSW
DATE: 12/7/2020

S200437-BASE.dwg

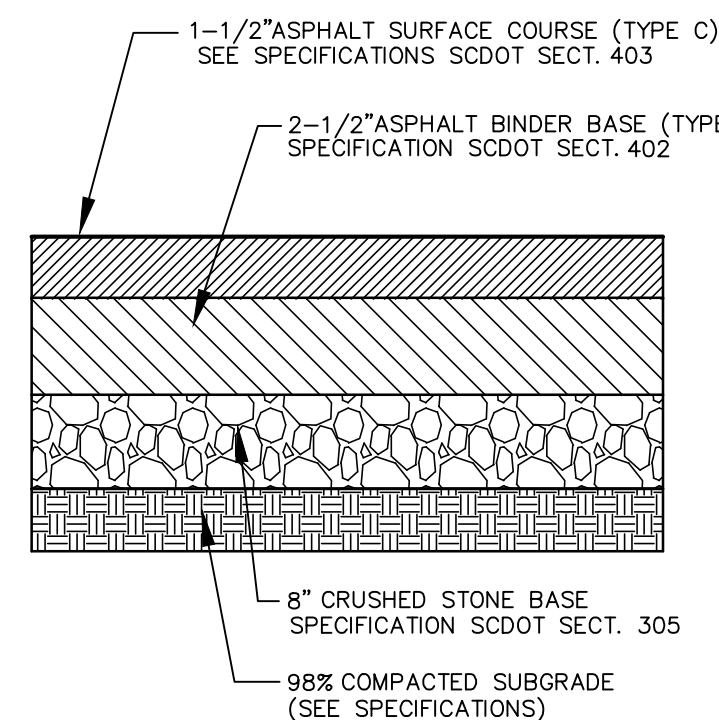
SITE PLAN

SHEET 3 OF XX

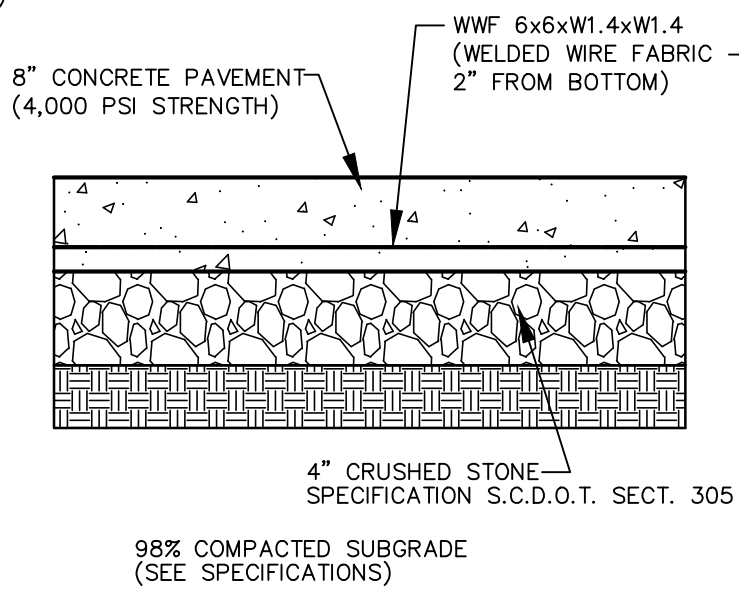
C200



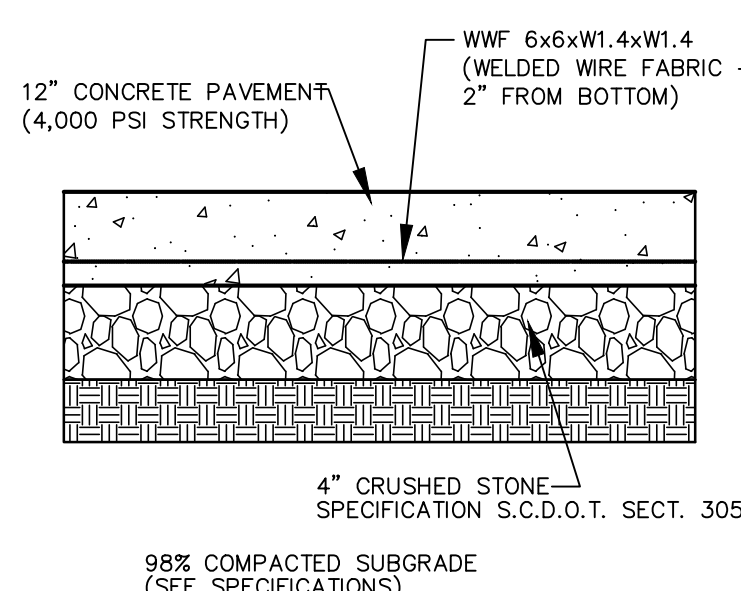
STANDARD DUTY ASPHALT PAVEMENT
NO SCALE



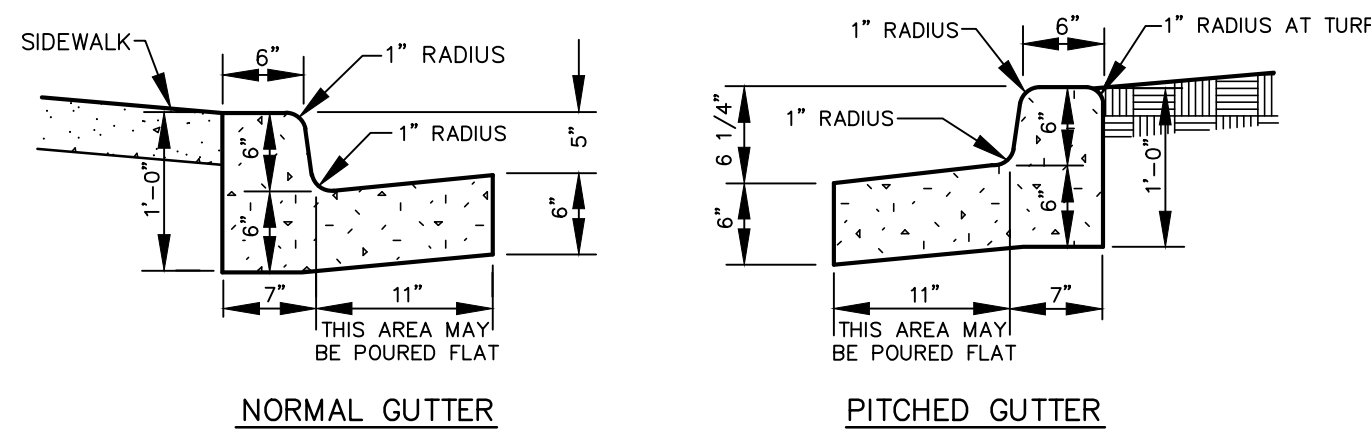
HEAVY DUTY ASPHALT PAVEMENT
NO SCALE



LIGHT DUTY CONCRETE PAVEMENT
NO SCALE

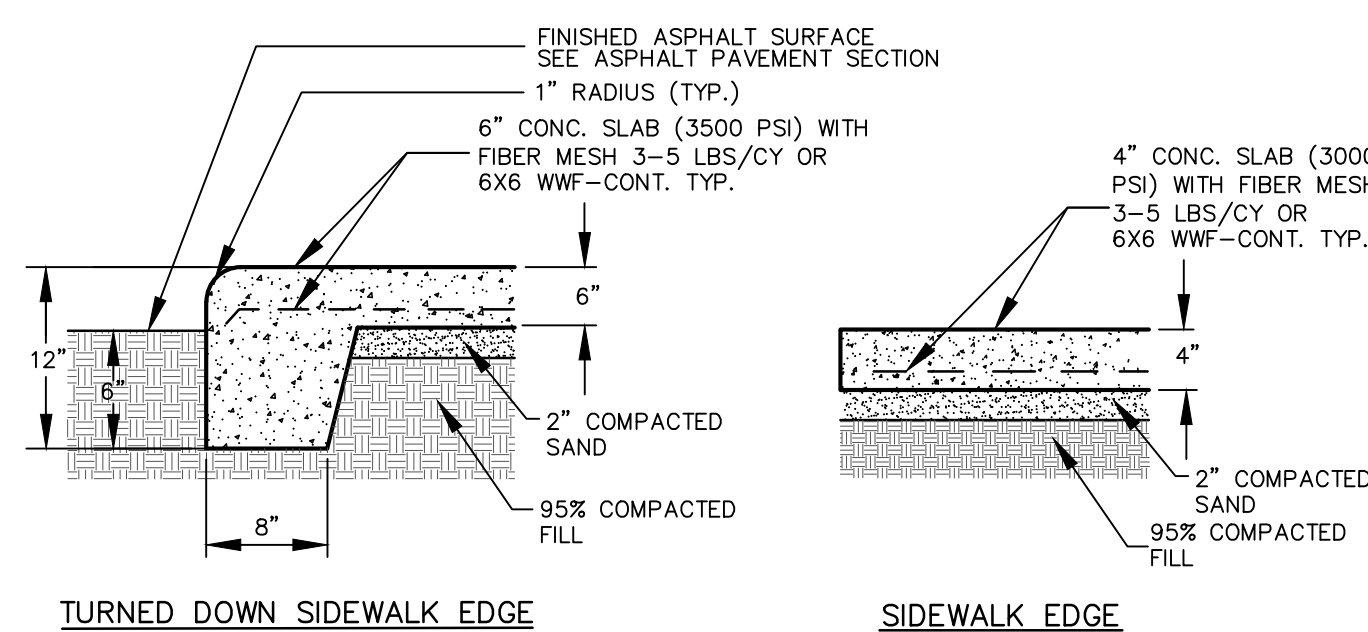


HEAVY DUTY CONCRETE PAVEMENT
NO SCALE

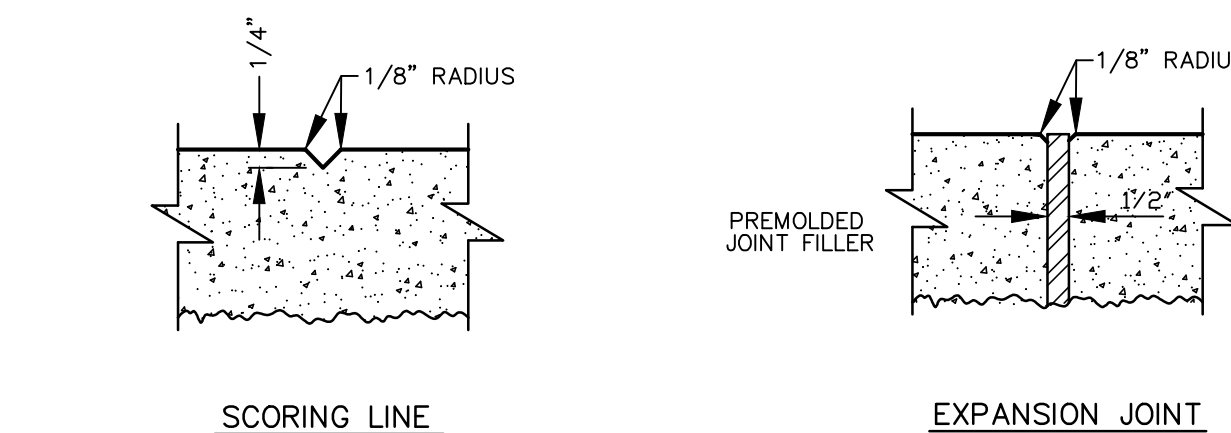
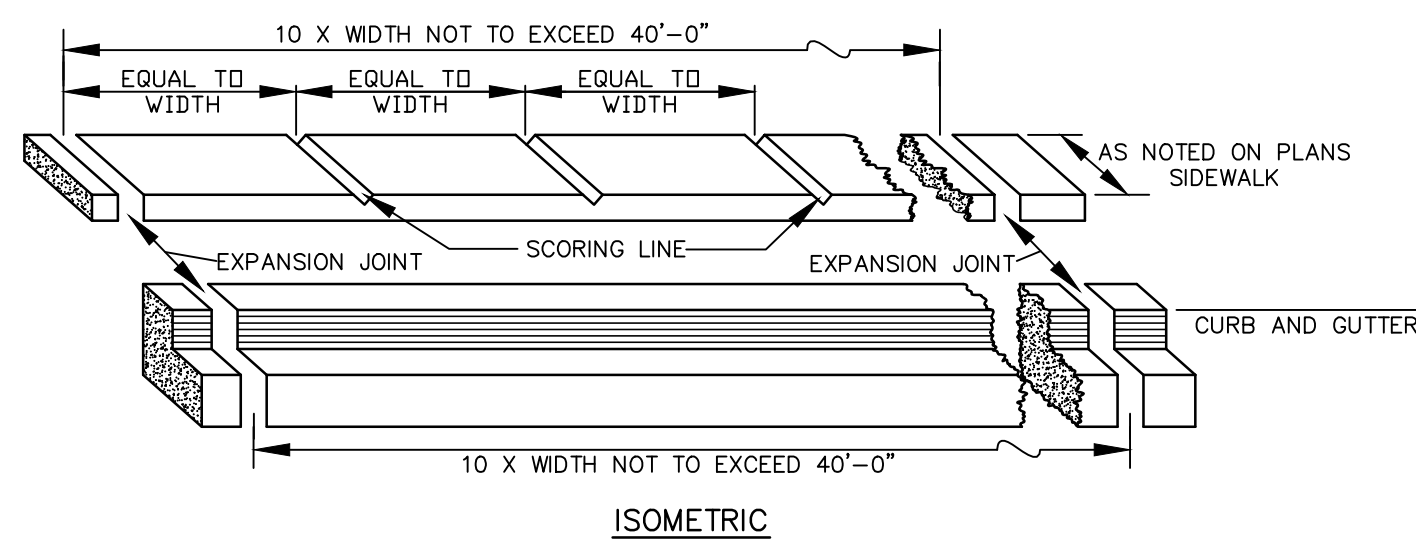


- NOTES:
1. CONCRETE TO BE 3000 PSI.
 2. CURB AND GUTTER TO HAVE A CONST. JOINT EVERY 10' AND A 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 40 FT., AT THE ENDS AND MID-POINT OF RETURNS, AND AT ANY POINT WHERE THE NEW CURB & GUTTER ABUTS OTHER CONCRETE STRUCTURES.
 3. 5 FT. LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER UNLESS OTHERWISE NOTED.

18" CONCRETE CURB AND GUTTER
NO SCALE

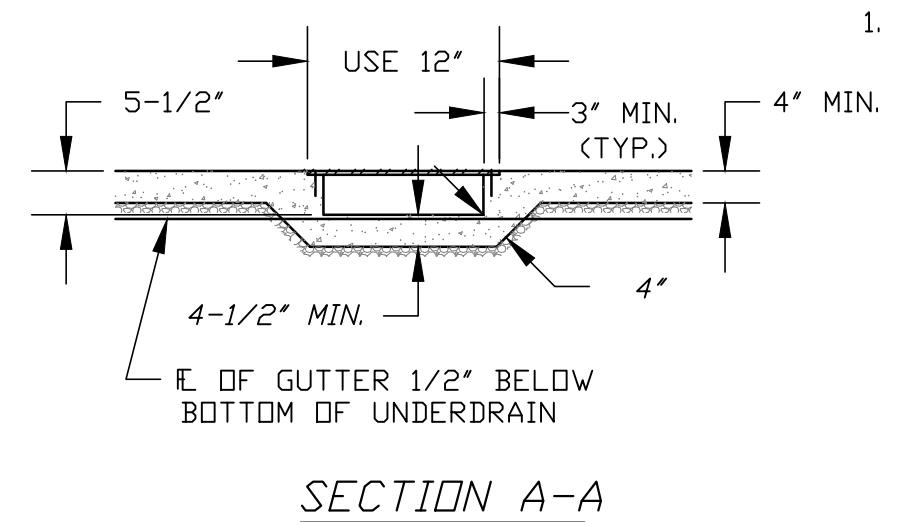
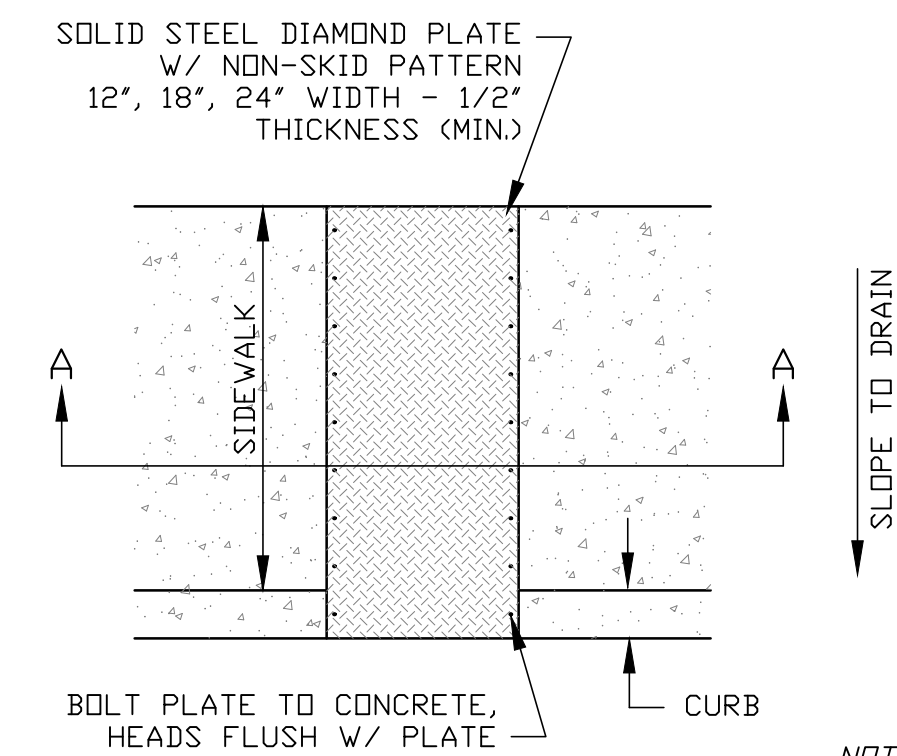


SIDEWALK SECTION
NO SCALE



- NOTES:
1. EXPANSION JOINTS, 3/4" THICK, SHALL BE PLACED AT THE P.C. AND P.T. OF ALL CURVES, AT THE OUTER EDGES OF DRIVEWAYS, AND UNIFORM INTERVALS AS SHOWN.
 2. JOINTS IN THE CURB AND GUTTER SHALL ALIGN WITH CORRESPONDING JOINTS IN THE SIDEWALK.
 3. LONGITUDINAL SCORING LINES WILL BE REQUIRED IN WALKS WIDER THAN SIX FEET.
 4. CONCRETE SHALL BE "READY MIX" HAVING A 28 DAY COMPRESSIVE STRENGTH OF 3000 P.S.I. AND AIR ENTRAINED.
 5. FORMS SHALL BE INSPECTED BY THE PROPER AUTHORITY GRADE AND ALIGNMENT BEFORE PLACING CONCRETE.
 6. SIDEWALKS SHALL NOT CROSS DRIVEWAYS; THE CONTRACTOR SHALL INSTALL THE DRIVEWAY BEFORE THE SIDEWALK, OR SHALL SAWCUT AND REMOVE THE SIDEWALK IF INSTALLING THE DRIVEWAY AFTER THE SIDEWALK.

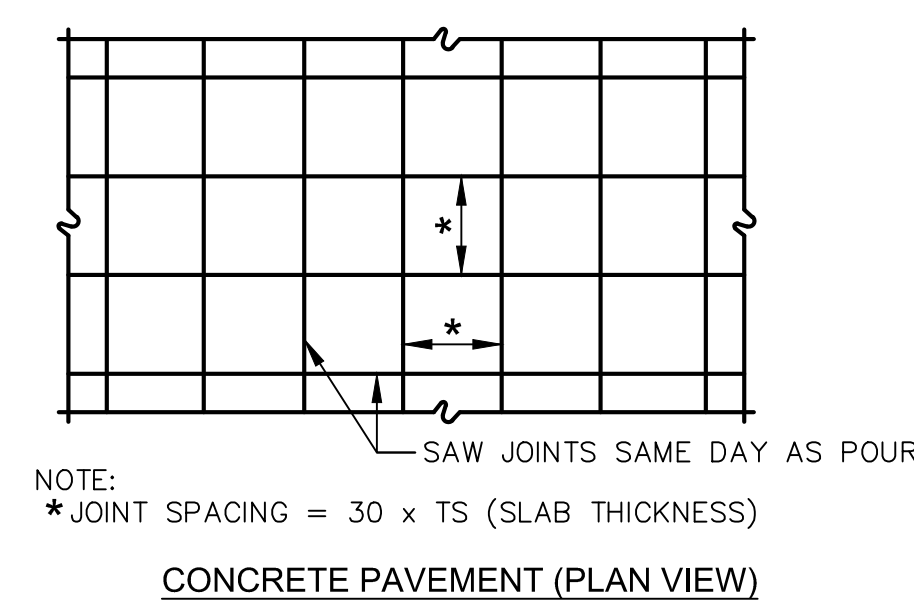
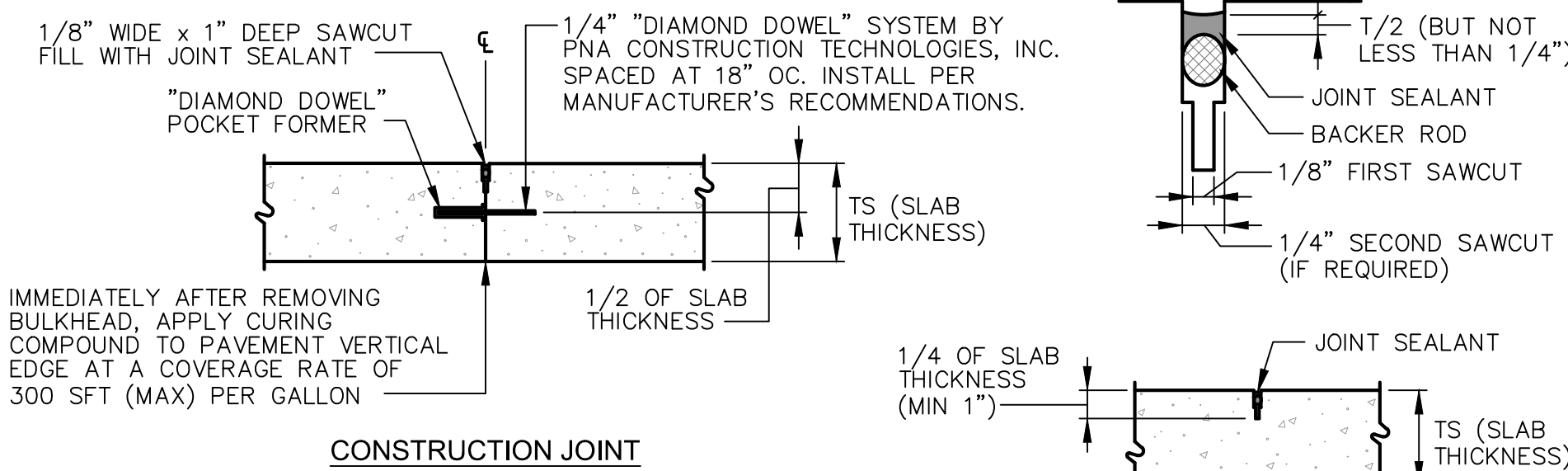
SIDEWALK EXPANSION JOINTS & SCORING LINES
NO SCALE



SIDEWALK CROSS-DRAIN
NO SCALE

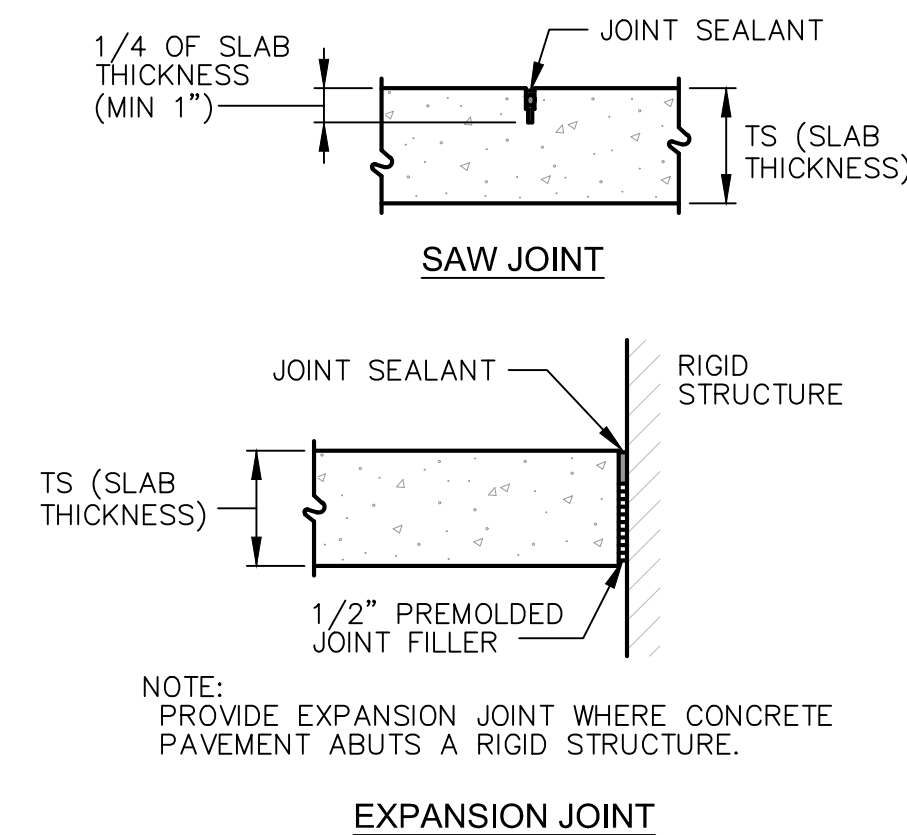
- NOTES:
1. FIBER-REINFORCED PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. POLYPROPYLENE FIBERS SHALL BE ADDED TO THE P.C.C. PER THE MANUFACTURER'S RECOMMENDATIONS.
 2. BASE BENEATH CONCRETE DRAIN SUPPORT STRUCTURE SHALL BE 6" MIN. TYPE 2, CLASS B AGGREGATE, COMPACTED TO A MINIMUM 95% OF MAXIMUM DRY DENSITY.

WAIT AS LONG AS FEASIBLE TO SEAL JOINTS TO ALLOW CONCRETE SHRINKAGE TO OCCUR. IF REQUIRED, RE-SAW JOINT IMMEDIATELY PRIOR TO INSTALLING SEALANT TO ACHIEVE A 1/4" JOINT WIDTH. ENSURE JOINT IS CLEAN, DRY AND SIDES PREPARED PER MANUFACTURER'S RECOMMENDATIONS.



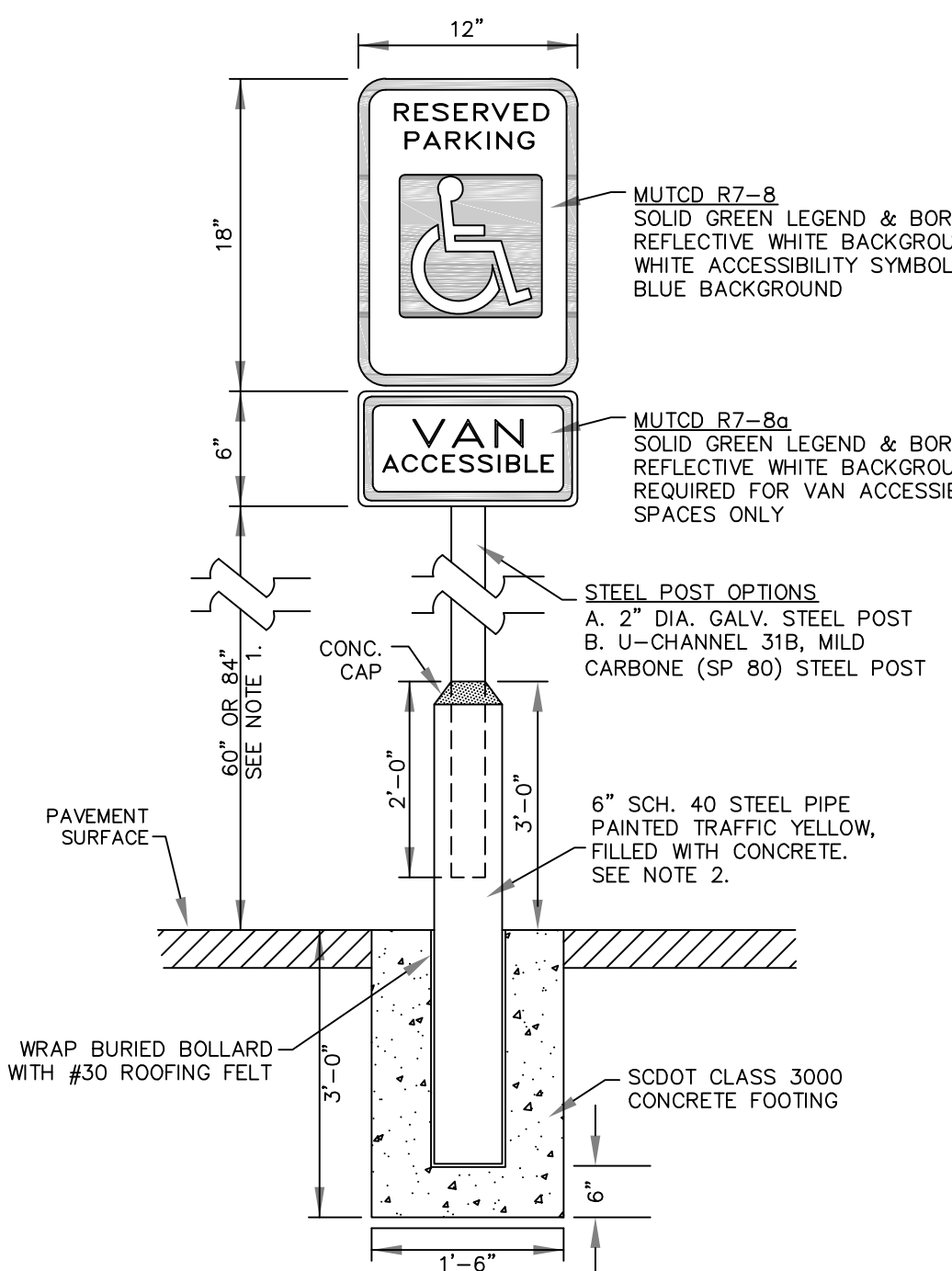
- NOTES:
- * JOINT SPACING = 30 x TS (SLAB THICKNESS)

CONCRETE PAVEMENT (PLAN VIEW)

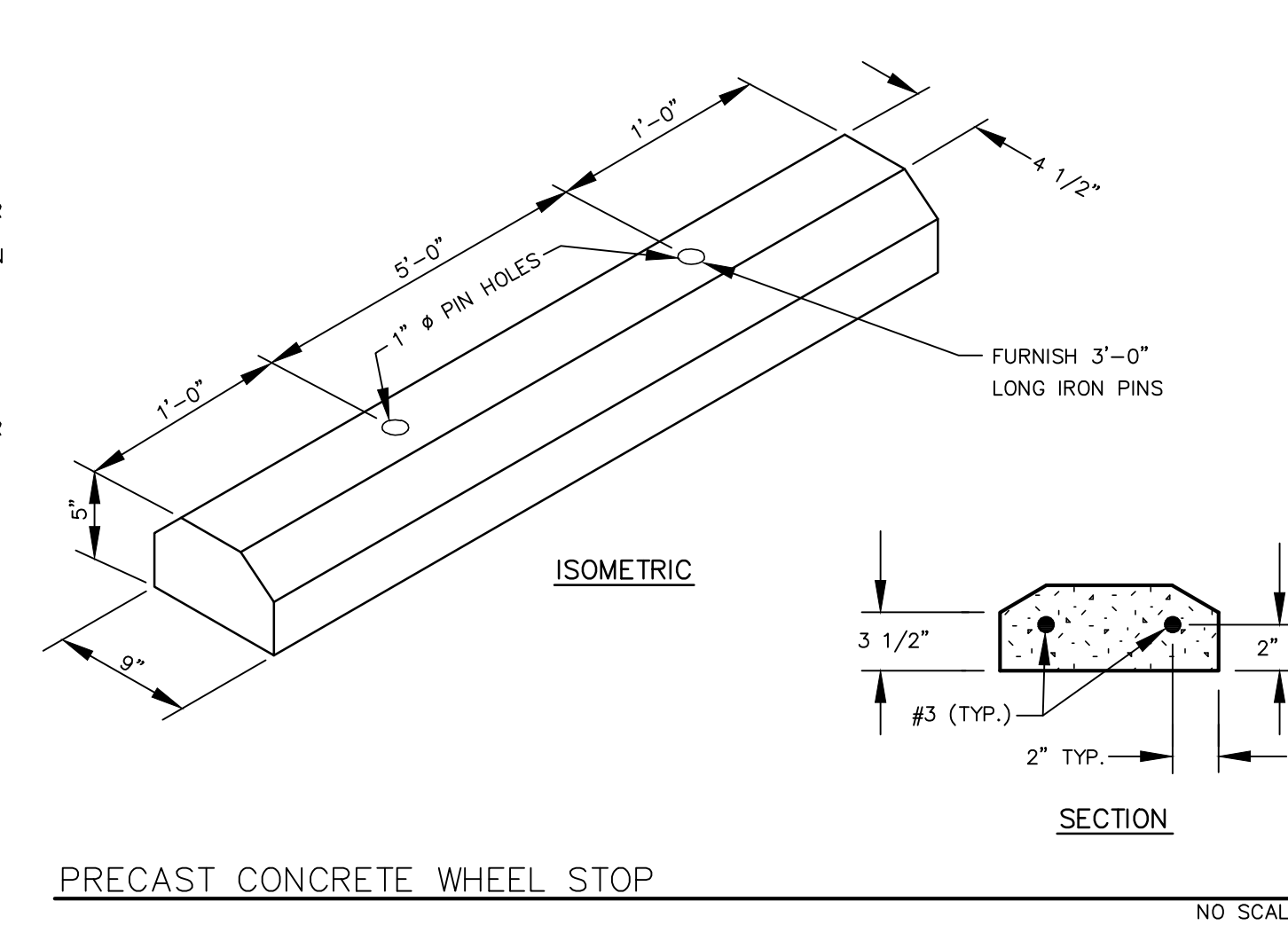


- NOTE:
- PROVIDE EXPANSION JOINT WHERE CONCRETE PAVEMENT ABUTS A RIGID STRUCTURE.

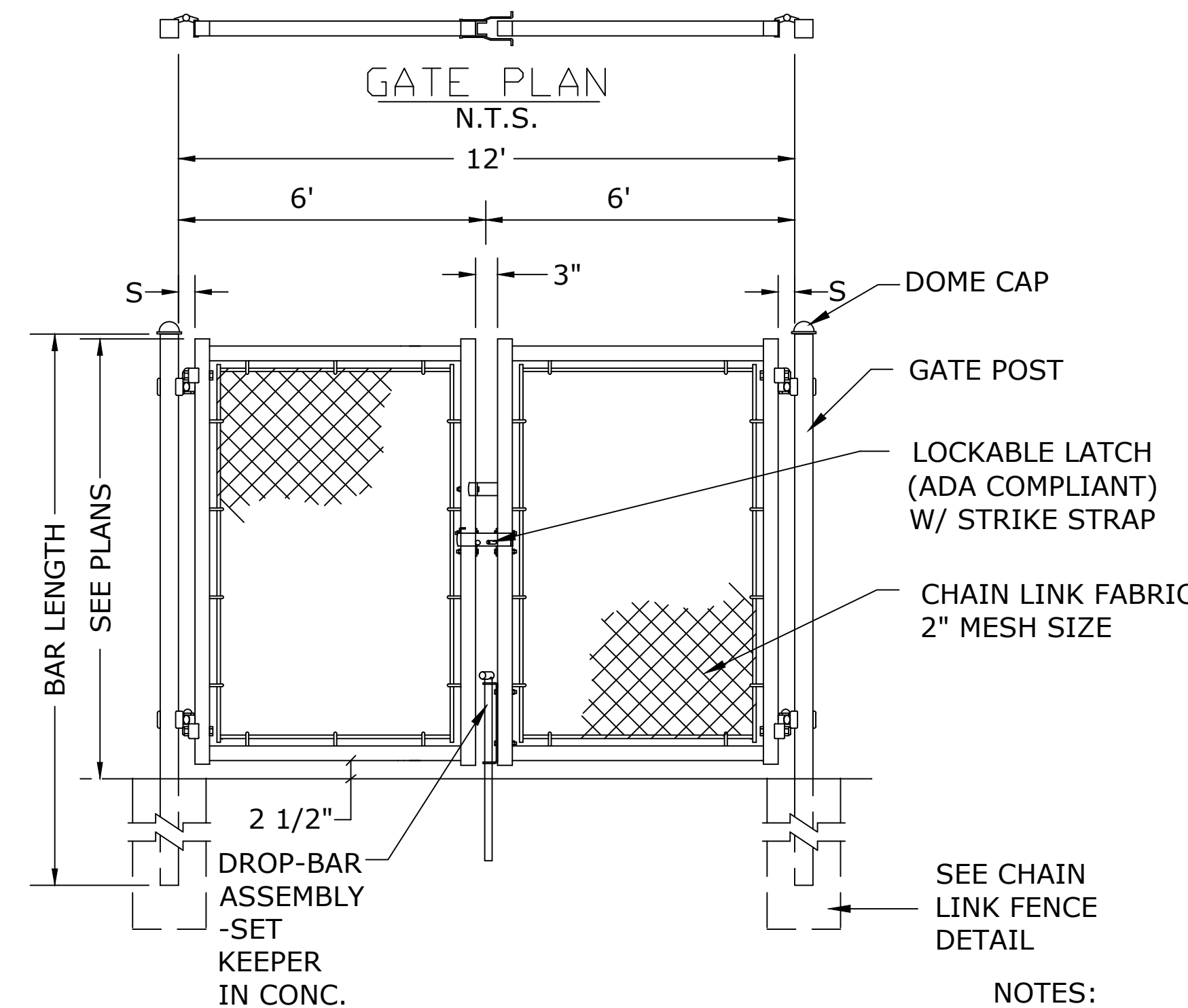
EXPANSION JOINT



- NOTE:
1. 12"x18" ACCESSIBILITY SIGN (R7-8) SHALL BE MOUNTED 7' FROM FINISH GRADE TO BOTTOM EDGE OF SIGN FACE. MOUNTING HEIGHT MAY BE REDUCED TO 5' IF PLACED IN A LANDSCAPE AREA IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 2. BOLLARD MAY BE OMITTED IF INSTALLED IN LANDSCAPE AREAS. WHEN INSTALLED IN LANDSCAPE AREAS, MOUNTING POST SHALL BE DRIVEN A MINIMUM OF 3' BELOW FINISH GRADE. ALTERNATE MOUNTING POSTS MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
 3. SIGNAGE SHALL BE INSTALLED IN FRONT OF EACH ACCESSIBLE SPACE, CENTERED ON THE WIDTH OF THE SPACE.
 4. REFER TO AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES (ADAAG), LATEST EDITION, FOR REQUIRED NUMBER OF ACCESSIBLE SPACES. PER ADAAG, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED, MINIMUM, WITH ADDITIONAL VAN ACCESSIBLE SPACES PER ADAAG REQUIREMENTS.
 5. ALL SIGNAGE SHALL BE ENGINEER GRADE .080 ALUMINUM REFLECTIVE SIGN MEETING THE REQUIREMENTS OF THE MUTCD AND ADAAG.



PRECAST CONCRETE WHEEL STOP
NO SCALE



DOUBLE LEAF GATES		
OPENING	GATE POSTS	HINGE SPACE (S)
FACE TO FACE	RND SIZES	POST TO UPRIGHT
8'-0" THROUGH 12'-0"	2 7/8" OR 2.875" OD	FOR ROUND GATE POSTS: 2 7/8"

- NOTES:
1. MATERIALS AND METHOD OF CONSTRUCTION SHALL CONFORM TO CHAIN LINK FENCE DETAIL ON THIS SHEET.
 2. ALL CHAIN LINK FENCE POSTS, RAILS, FABRIC, HARDWARE AND FITTINGS TO BE CLASS II B THERMALLY FUSED AND BONDED PVC COATING COLOR: BLACK
 3. CONTRACTOR TO SUBMIT SHOP DRAWINGS

DOUBLE GATE ELEVATION
N.T.S.

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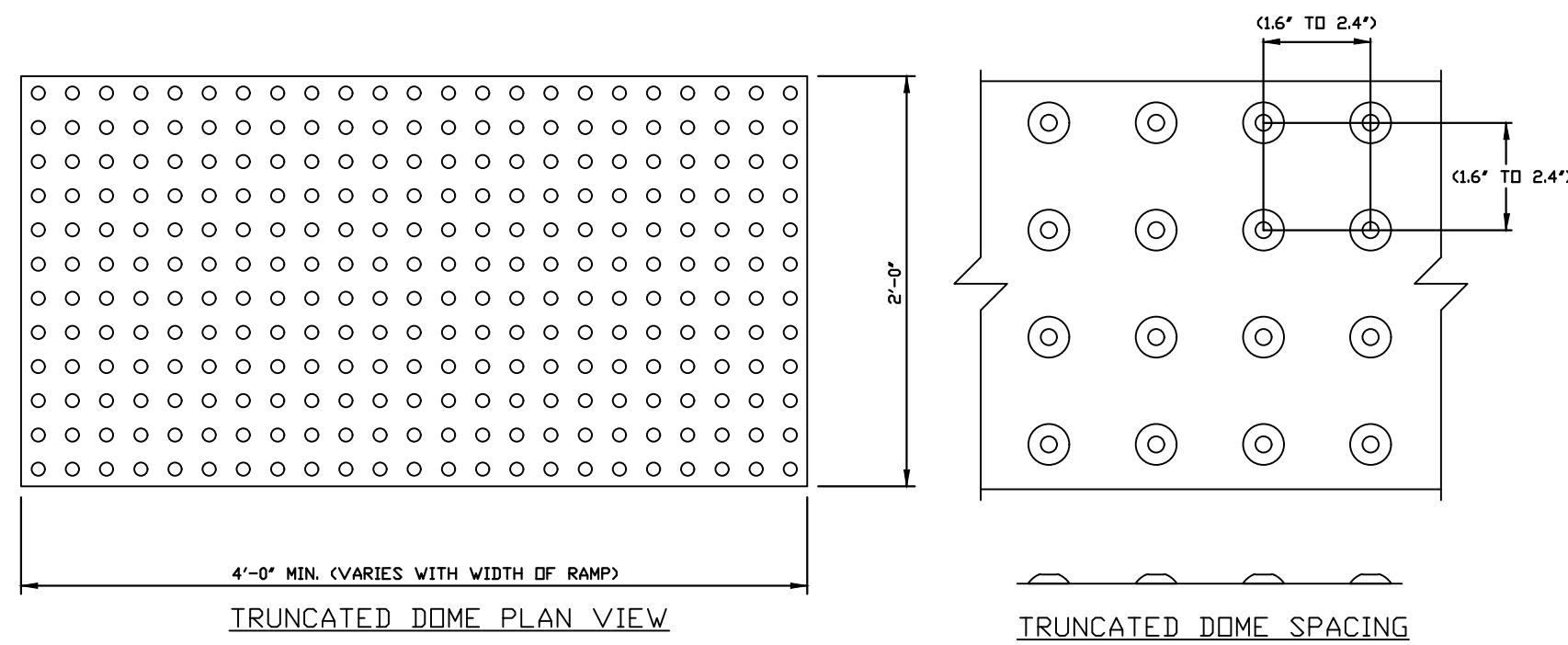
THIS DRAWING IS THE PROPERTY OF SITE DESIGN, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SITE DESIGN, INC. PROJECT NO. 2022-00122

SC. REG. NO. 24201

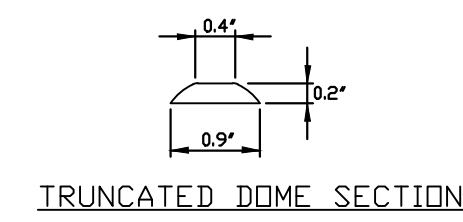
THE PARK AT HANAHAN
CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

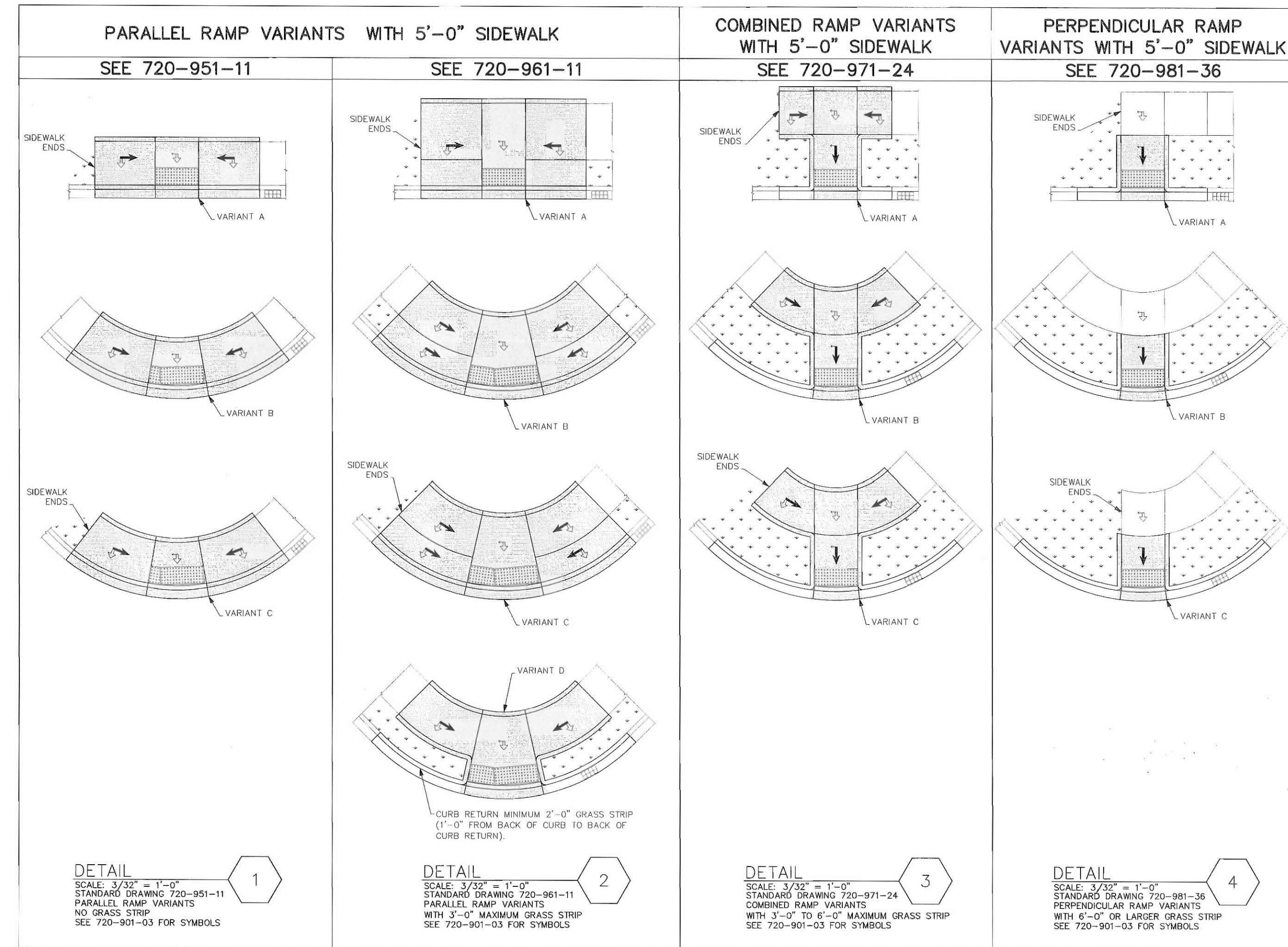
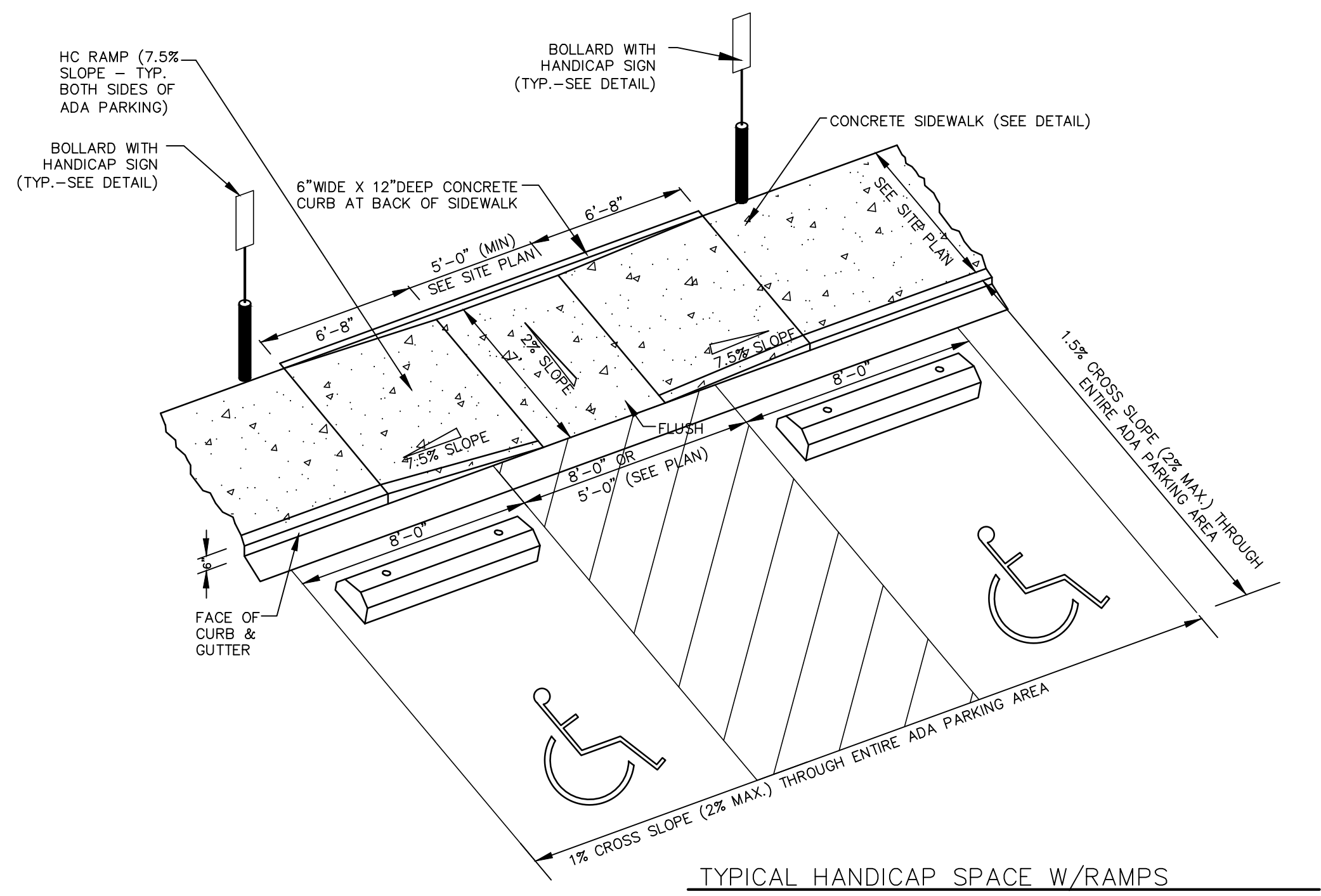
HORZ. SCALE:	N/A
VERT. SCALE:	N/A
DESIGNED BY:	WTB
DRAWN BY:	WTB
CHECKED BY:	CSW
DATE:	1/8/2021
S200437-DETAIL.dwg	



- NOTES:
1. DETECTABLE WARNINGS SHALL BE CAST IN PLACE, COLOR: BRICK RED AS MANUFACTURED BY ARMOR TILE, INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 2. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP OR AS SHOWN ON PLANS.
 3. LENGTH OF DETECTABLE WARNING AREA SHALL BE 2 FEET REGARDLESS OF SECTION WIDTH.
 4. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
 5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
 6. DETECTABLE WARNING AREA SHALL BE COLORED SAFETY YELLOW IN DOT ROW.



TRUNCATED DOME SURFACE
N.T.S.



REFERENCES

NATIONAL DOCUMENTS
REVISED DRAFT GUIDELINES FOR ACCESSIBLE PUBLIC RIGHTS-OF-WAY NOVEMBER, 2005
MUTCD 2009

SCDOT DOCUMENTS
SCDOT TRANSITION PLAN
QPL 61

RELATED DRAWINGS & KEYWORDS
720-929-01

THIS DRAWING IS ONLY VALID FOR CONSTRUCTION WHEN SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA. CHECK WWW.SCDOT.ORG FOR LATEST UPDATE.

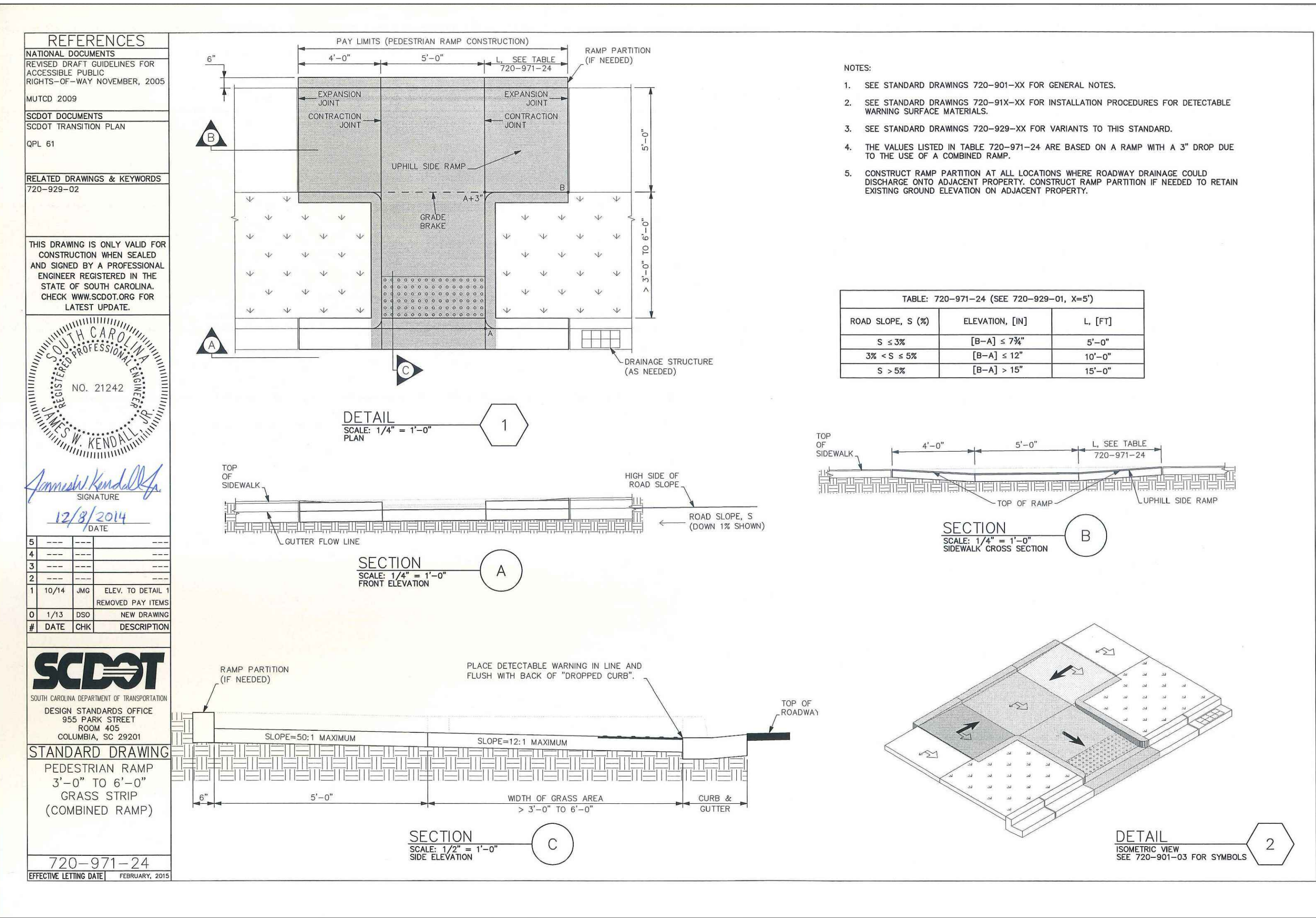
SCDOT PROFESSIONAL ENGINEER
NO. 21242
JAMES W. KENDALL
9-27-2012
DATE

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0	1/13	DSD	NEW DRAWING
#	DATE	CHK	DESCRIPTION

SCDOT
SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION
DESIGN STANDARDS OFFICE
955 PARK STREET
ROOM 405
COLUMBIA, SC 29201

STANDARD DRAWING
PEDESTRIAN RAMP
STANDARD VARIANTS

720-929-02
EFFECTIVE LETTING DATE: JANUARY, 2015



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228 ROCKY CREEK ROAD
COLUMBIA, SC 29210
PH: (803) 771-0086

DATE

NO. 10, 9, 8, 7, 6, 5, 4, 3, 2, 1

SC. REG. NO. 24201

THE PARK AT HANAHAN

CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

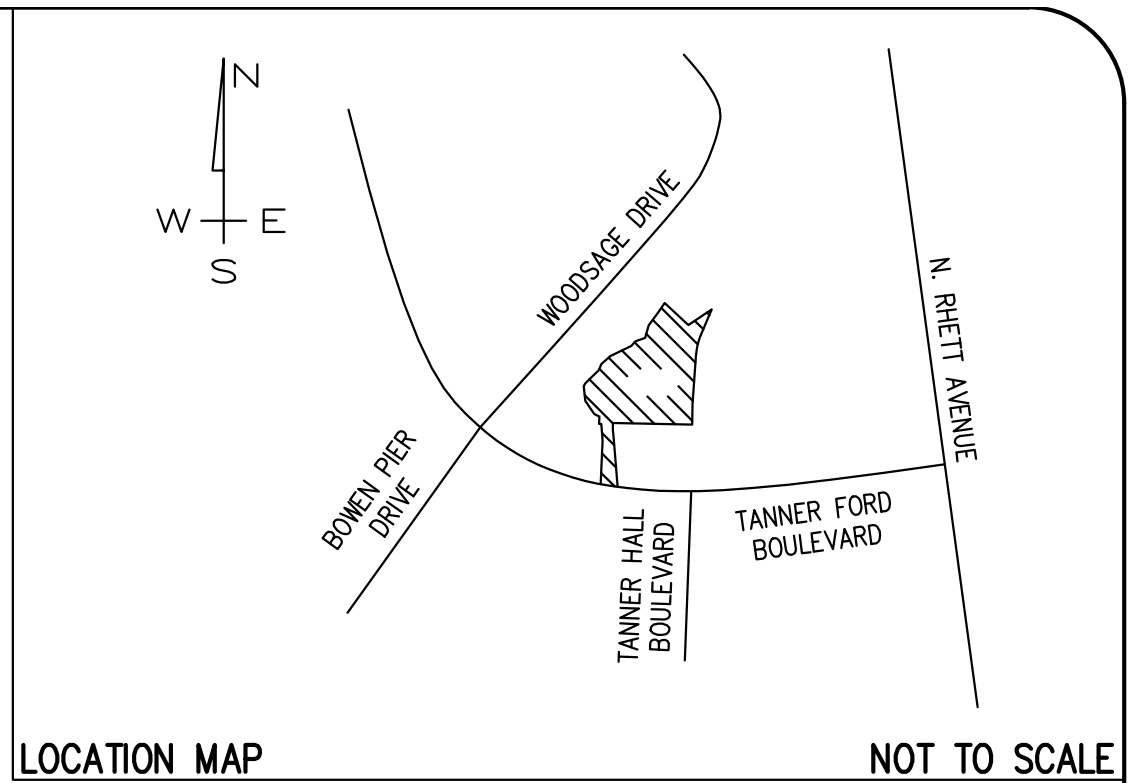
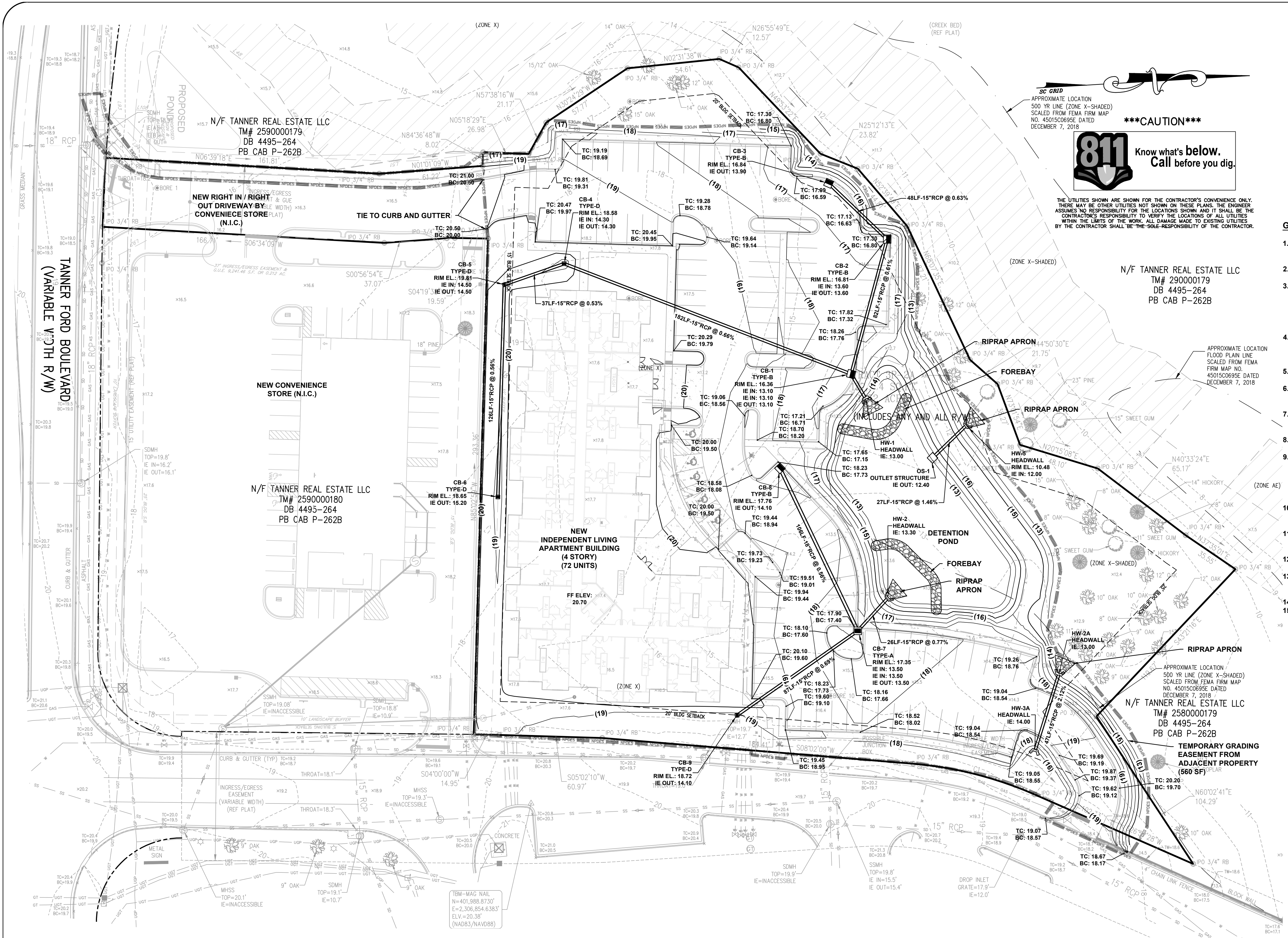
HORZ. SCALE: N/A
VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: CSW
DATE: 1/8/2021

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SITE DETAILS

SHEET 5 OF XX

C211



811 Know what's below. Call before you dig.

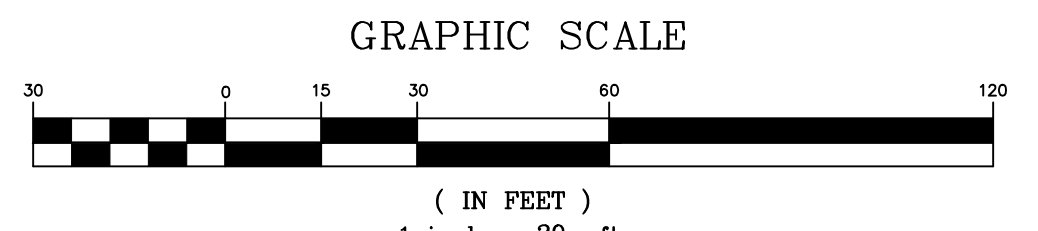
CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
 3. PROFFROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST FILLED AREAS. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED BECAUSE OF POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL SUPPLY RESULTS TO THE ENGINEER BEFORE ANY PRELIMINARY AND/OR FINAL APPROVALS.
 4. THE GRADING CONTRACTOR SHALL PROFFROLL THE CONSTRUCTION AREA WITH HEAVY RUBBER-TIRED EQUIPMENT. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTION EFFORT OR UNDERCUT AND BACKFILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
 5. EARTHWORK SHALL BE TO THE GRADES AND LINES SHOWN. EXISTING AND PROPOSED CONTOUR INTERVALS ARE AT 1'.
 6. ALL NEW ELEVATIONS SHOWN ARE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT TO ESTABLISH SUBGRADE ELEVATION.
 7. WALL ELEVATIONS WHERE NOTED ARE TOP OF WALL AND FINISH GRADE AT BOTTOM OF WALL. SEE RETAINING WALL PLANS FOR DETAILED CONSTRUCTION INFORMATION.
 8. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
 9. ALL EXCAVATION SHALL BE "UNCLASSIFIED EXCAVATION". ALL NEW FILL AND UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
 10. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
 11. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED, AND SHALL CONFORM TO SCDOT SPECIFICATIONS. ALL JOINTS SHALL BE TONGUE AND GROOVE WITH MASTIC MATERIAL.
 12. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE DRAINAGE BOX WITH SOLID WALL PER SCDOT STANDARD DRAWING 719-17A OR APPROVED EQUAL.
 13. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAYS, INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
 14. STANDING GRASS MUST BE EVIDENT IN AREAS THAT WERE SEEDED.
 15. AN AS-BUILT CERTIFICATION OF THE STORMWATER MANAGEMENT SYSTEM WILL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE SITE. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR THE DELAYS RESULTING FROM NON-COMPLIANCE WITH THE DESIGN DRAWINGS.

- NOTES:**
1. SLOPES WITHIN ADA PARKING AREAS CANNOT EXCEED 2% IN ANY DIRECTION. ALL ADA PARKING AREAS ARE TO BE CONSTRUCTED WITH CONCRETE.
 2. SIDEWALK CROSS SLOPES ARE NOT TO EXCEED 2%.
 3. ANY SIDEWALK EXCEEDING 8% RUNNING SLOPE IS CONSIDERED A RAMP. ANY RAMP RISING GREATER THAN 6" MUST HAVE AN ADA APPROVED HANDRAIL ON BOTH SIDES.
 4. ANY EXCESS SOIL HAULED OFF-SITE MUST BE TO AN APPROVED PERMITTED SITE.
 5. SPOT ELEVATIONS SHOWN DENOTE BOTTOM OF CURB, TOP OF ASPHALT, OR GROUND SURFACE ELEVATION UNLESS OTHERWISE NOTED.
 6. TC = TOP OF CURB / BC = BOTTOM OF CURB.
 7. TW = TOP OF WALL / BW = BOTTOM OF WALL.
 8. BUILDING DOWNSPOUTS WILL TIE TO NEW STORMDRAIN SYSTEM.

SYMBOLS		ABBREVIATIONS		LINETYPES	
CB	CATCH BASIN	BL	BUILDING LINE	---CIV	CABLE TV
DI	DROP INLET	CL	CENTERLINE	- - -	CHAIN LINK FENCE (PROPOSED)
ET	ELEC. TRANSFORMER	CT	CRIMP TOP	- - -	CHAIN LINK FENCE (EXISTING)
80.00	ELEVATION (EXIST. GRADE)	DE	DRAINAGE EASEMENT	- - -	CONTOURS - EXIST. GRADE
EP	EDGE OF PAVEMENT	EP	EDGE OF PAVEMENT	- - -	CONTOURS - FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION	FFE	FINISHED FLOOR ELEVATION	- - -	FIBER OPTIC
FG	FINISHED GRADE	FG	FINISHED GRADE	- - -	FORCE MAIN
IE	INVERT ELEVATION	IE	INVERT ELEVATION	- - -	GAS LINE
IPS	IRON PIN SET	IPS	IRON PIN SET	- - -	OVERHEAD POWER
IPO	IRON PIN OLD	IPO	IRON PIN OLD	- - -	OVERHEAD TELEPHONE
N&C	NAIL & CAP	N&C	NAIL & CAP	- - -	ROOF DRAIN - NEW
OT	OPEN TOP	OT	OPEN TOP	- - -	SANITARY SEWER - EXIST.
RB	REBAR	RB	REBAR	- - -	SANITARY SEWER - NEW
RCP	REINFORCED CONCRETE PIPE	RCP	REINFORCED CONCRETE PIPE	- - -	SILT FENCE
R/W	RIGHT OF WAY	R/W	RIGHT OF WAY	- - -	STORM SEWER - EXIST.
SSE	SANITARY SEWER EASEMENT	SSE	SANITARY SEWER EASEMENT	- - -	STORM SEWER - NEW
SL	SETBACK LINE	SL	SETBACK LINE	- - -	UNDERGROUND POWER
VCP	VITRIFIED CLAY PIPE	VCP	VITRIFIED CLAY PIPE	- - -	UNDERGROUND TEL.
				- - -	WATER LINE - EXIST.
				- - -	WATER - NEW
				- - -	WOOD FENCE
				- - -	LIMITS OF DISTURBANCE



The contractor shall coordinate with the engineer of record for a digital staking plan to establish complete horizontal and vertical control. The contractor is responsible for survey stakeout of all improvements. Discrepancies between the plans, construction stakes, and field conditions shall be reported to the engineer of record immediately for resolution prior to installation of proposed improvements.

TOTAL SITE DISTURBANCE: 2.8 ACRES

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SUITE 200
P.O. BOX 10068

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THE PARK AT HANAHAN

CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

SC. REG. NO. 24201

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

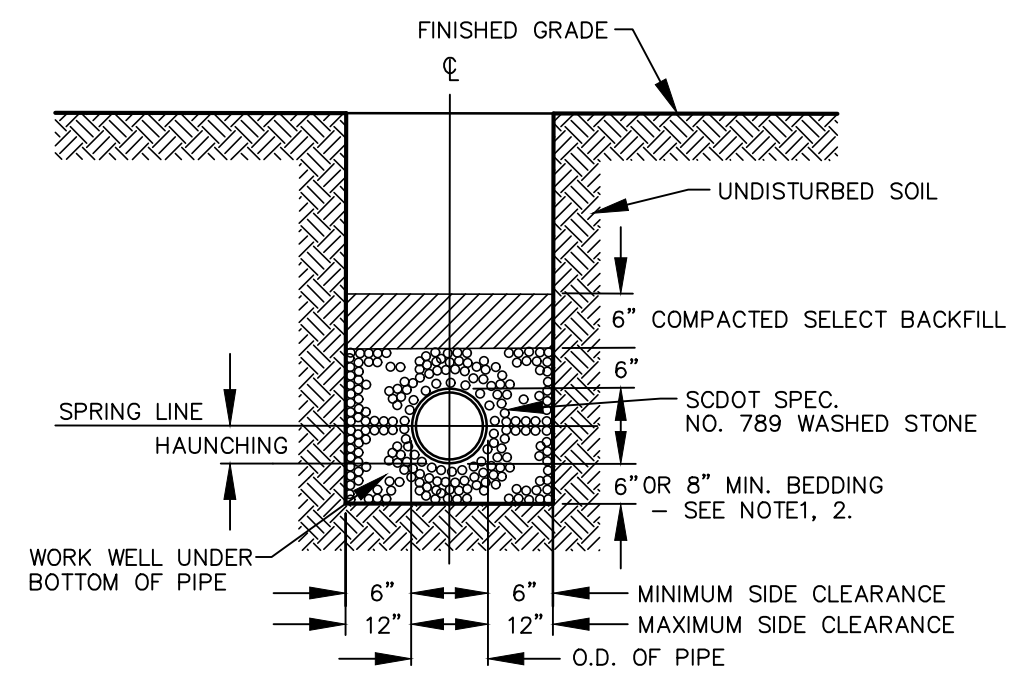
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VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: CSW
DATE: 12/7/2020

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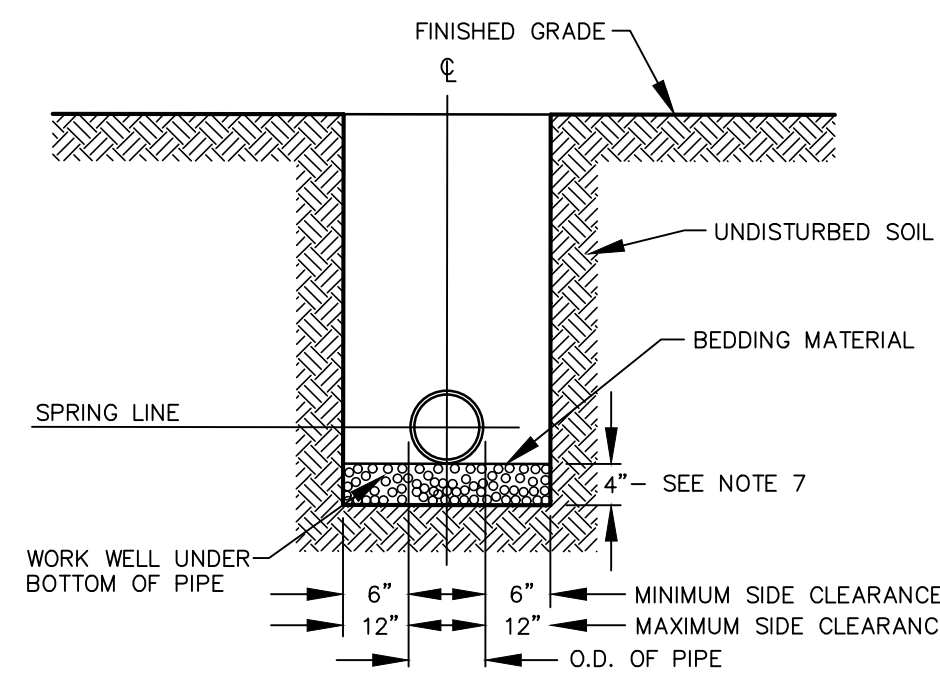
GRADING & DRAINAGE PLAN

SHEET 6 OF XX

C400



PVC & HDPE SEWER

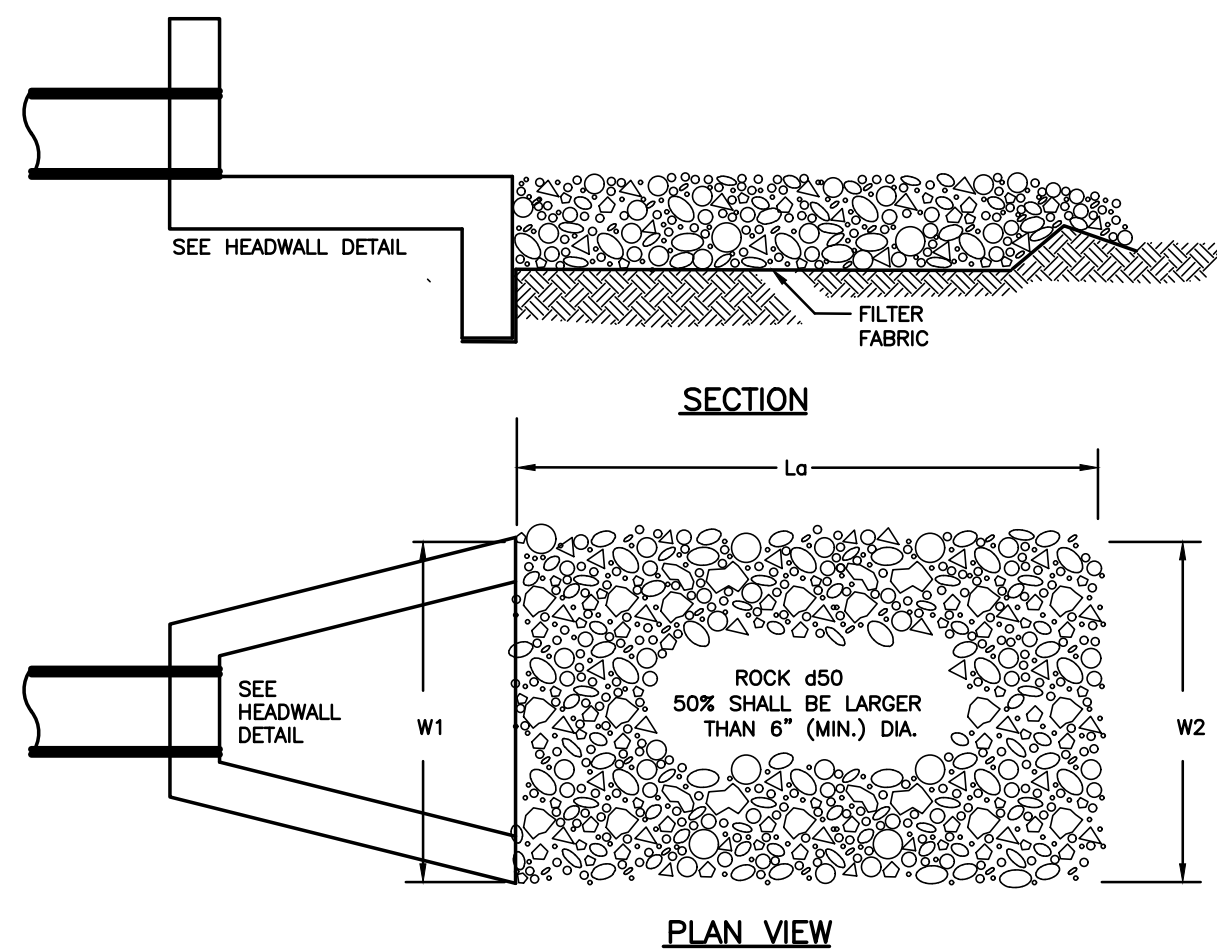


RCP SEWER

NOTES:

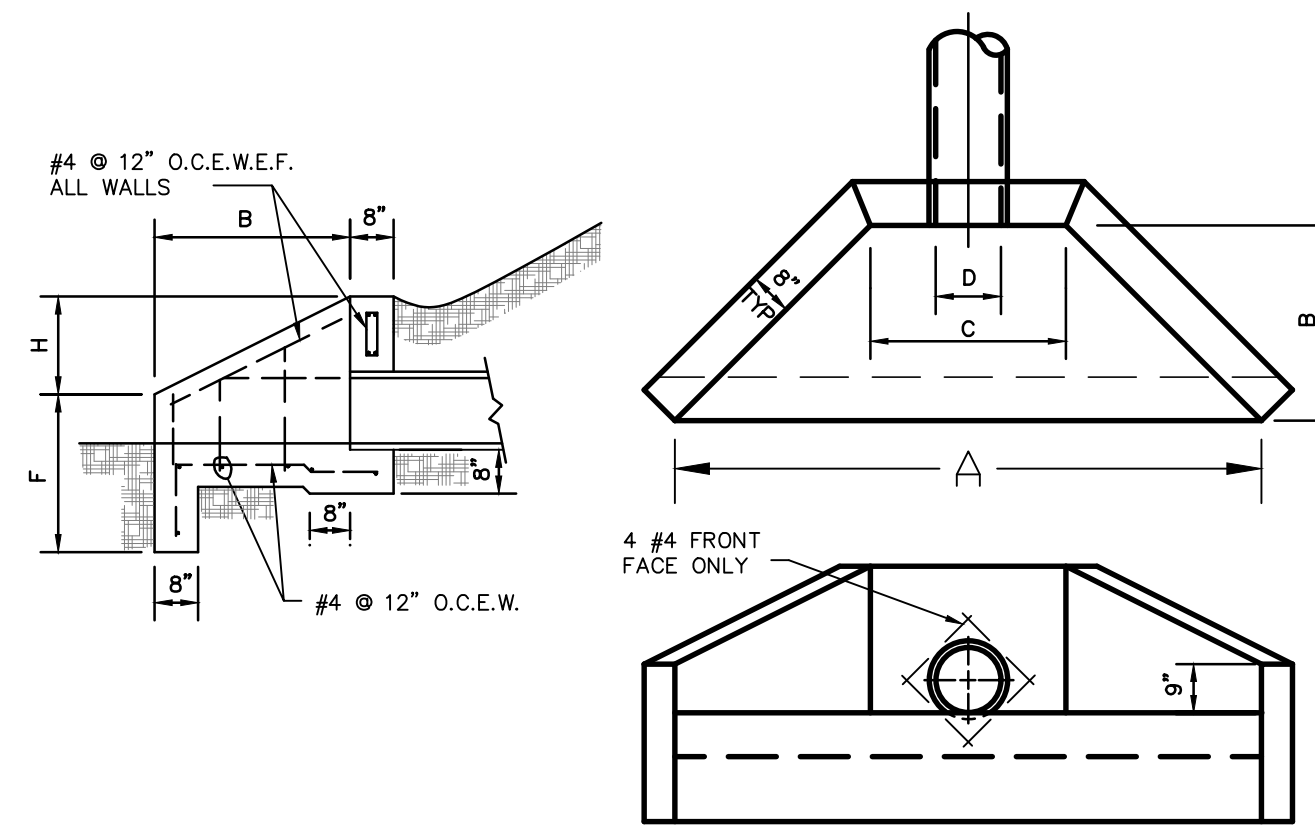
1. WET OR UNSTABLE BOTTOMS, EXCAVATE MIN. 8" BELOW BELL. BACKFILL WITH WASHED CRUSHED STONE.
2. ROCK BOTTOMS, EXCAVATE MIN. 6" BELOW BELL. BACKFILL WITH WASHED CRUSHED STONE.
3. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
4. NO ROCKS OR BOULDERS 6" OR LARGER TO BE USED IN BACKFILL. 5. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL EXCEPT AS NOTED.
6. BACKFILL SHALL BE TAMPED IN 6" LAYERS.
7. WET OR UNSTABLE BOTTOMS, EXCAVATE MIN. 4" BELOW BELL. BACKFILL WITH WASHED CRUSHED STONE.

PIPE BEDDING DIMENSIONS FOR PVC, HDPE & RCP SEWER/DRAIN PIPE
NO SCALE



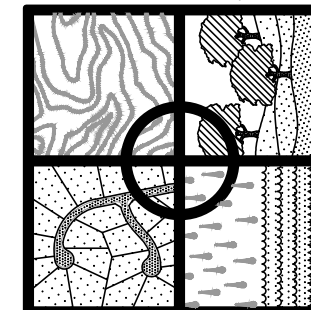
1. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
2. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK (MIN.) GRADED GRAVEL LAYER

ENERGY DISSIPATER AT HEADWALL
NO SCALE



D	ALL SLOPES			SLOPE 1 1/2 : 1		SLOPE 2 : 1		SLOPE 3 : 1	
	H	F	C	A	B	A	B	A	B
12"	2'-3"	1'-9"	3'-0"	7'-6"	2'-3"	9'-0"	3'-0"	12'-0"	4'-6"
15"	2'-6"	1'-9"	3'-3"	8'-7"	2'-6"	10'-3"	3'-6"	13'-0"	5'-3"
18"	2'-9"	1'-9"	3'-6"	9'-6"	3'-0"	11'-6"	4'-0"	15'-0"	6'-0"
24"	3'-3"	1'-9"	4'-0"	11'-6"	3'-9"	14'-0"	5'-0"	19'-0"	7'-6"
30"	3'-9"	1'-9"	4'-6"	13'-6"	4'-6"	16'-6"	6'-0"	22'-6"	9'-0"
36"	4'-3"	1'-9"	5'-0"	15'-6"	5'-3"	19'-0"	7'-0"	26'-0"	10'-6"

HEADWALL DETAIL
NO SCALE



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THE PARK AT HANAHAN

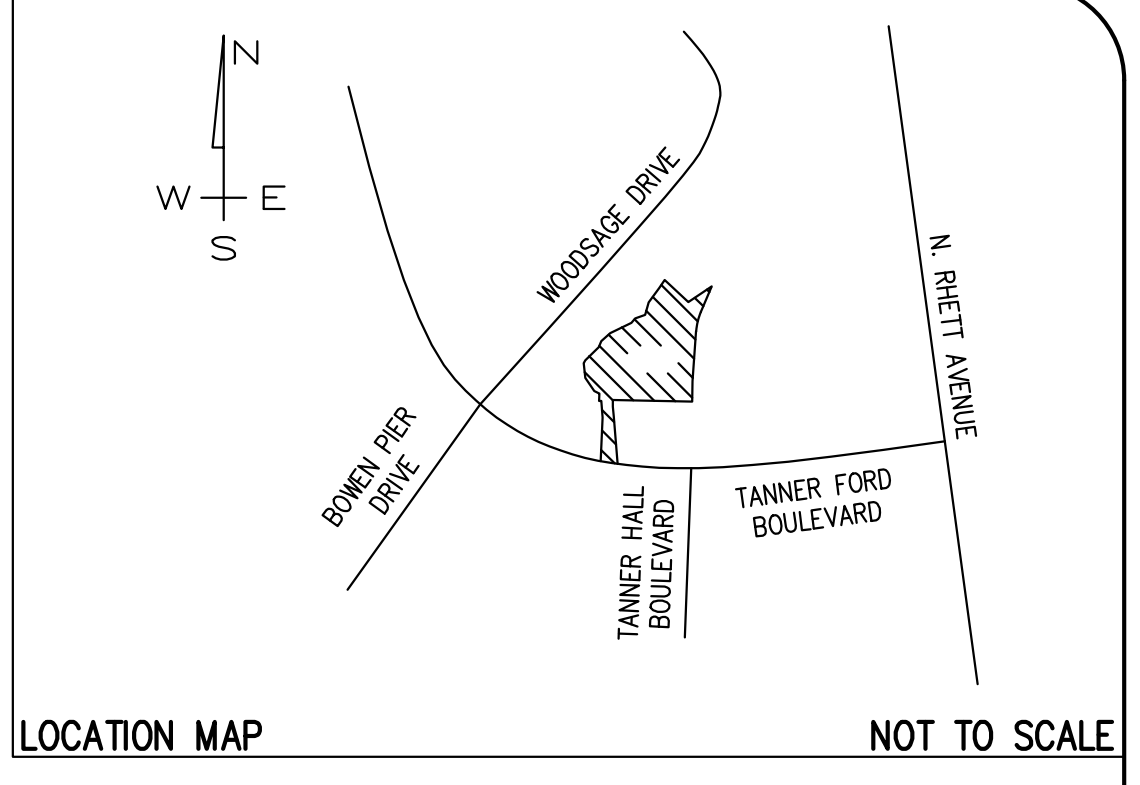
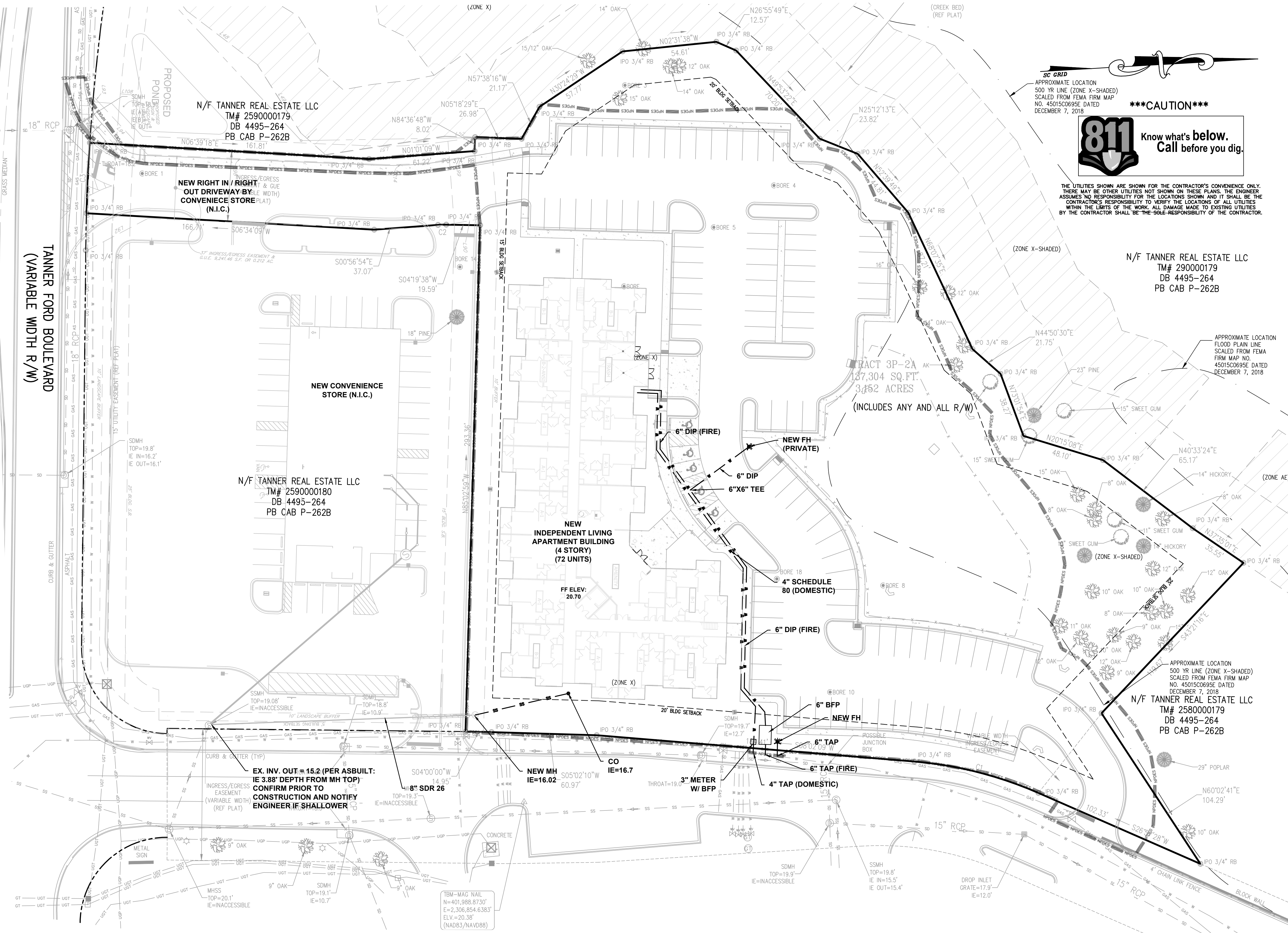
CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

HORZ. SCALE: N/A
VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: CSW
DATE: 1/8/2021

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STORMDRAIN DETAILS



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CAUTION

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- UTILITY NOTES:**
- ALL UTILITIES LOCATED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL COORDINATE LOCATION OF UNDERGROUND UTILITIES WITH THE UTILITY LOCATING SERVICE, BY CALLING 811 THREE (3) DAYS PRIOR TO CONSTRUCTION, AND UTILITY PROVIDERS.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
 - NEW UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
 - CONTRACTOR SHALL CONSTRUCT DOMESTIC WATER SERVICE TO BUILDINGS AND FIRE LINE AS SHOWN ON DRAWING. EXACT LINE SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. TAPS TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY.
 - CONTRACTOR SHALL CONSTRUCT SANITARY SEWER SERVICE TO BUILDINGS. EXACT SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. SERVICE TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY. INSTALL CLEAN OUTS AT 75' INTERVALS (MAX) AND AT ALL DEFLECTIONS.
 - CONTRACTOR SHALL COORDINATE ALL OTHER UTILITY CONNECTIONS WITH LOCAL PROVIDERS. CONTRACTOR SHALL INSTALL ALL UTILITIES TO THE SPECIFICATIONS AND REQUIREMENTS OF THE ACCEPTING UTILITY AUTHORITY.
 - THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY UTILITY SCREENING TO MEET THE REQUIREMENTS OF THE CITY OF HANAHAN.

UNDERGROUND FIRE PROTECTION NOTES:

- ALL VALVES ON THE FIRE PROTECTION LINE WILL BE MONITORED IN ACCORDANCE WITH 2015 IBC -903.4
- EXCEPTION - THE FIRE LINE VALVE LOCATED AT THE TAP IS PERFORMED BY THE PUBLIC UTILITY AND NOT MONITORED AS PER 2015 IBC-903.4.1 (EXCEPTIONS)

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S200437-BASE.dwg

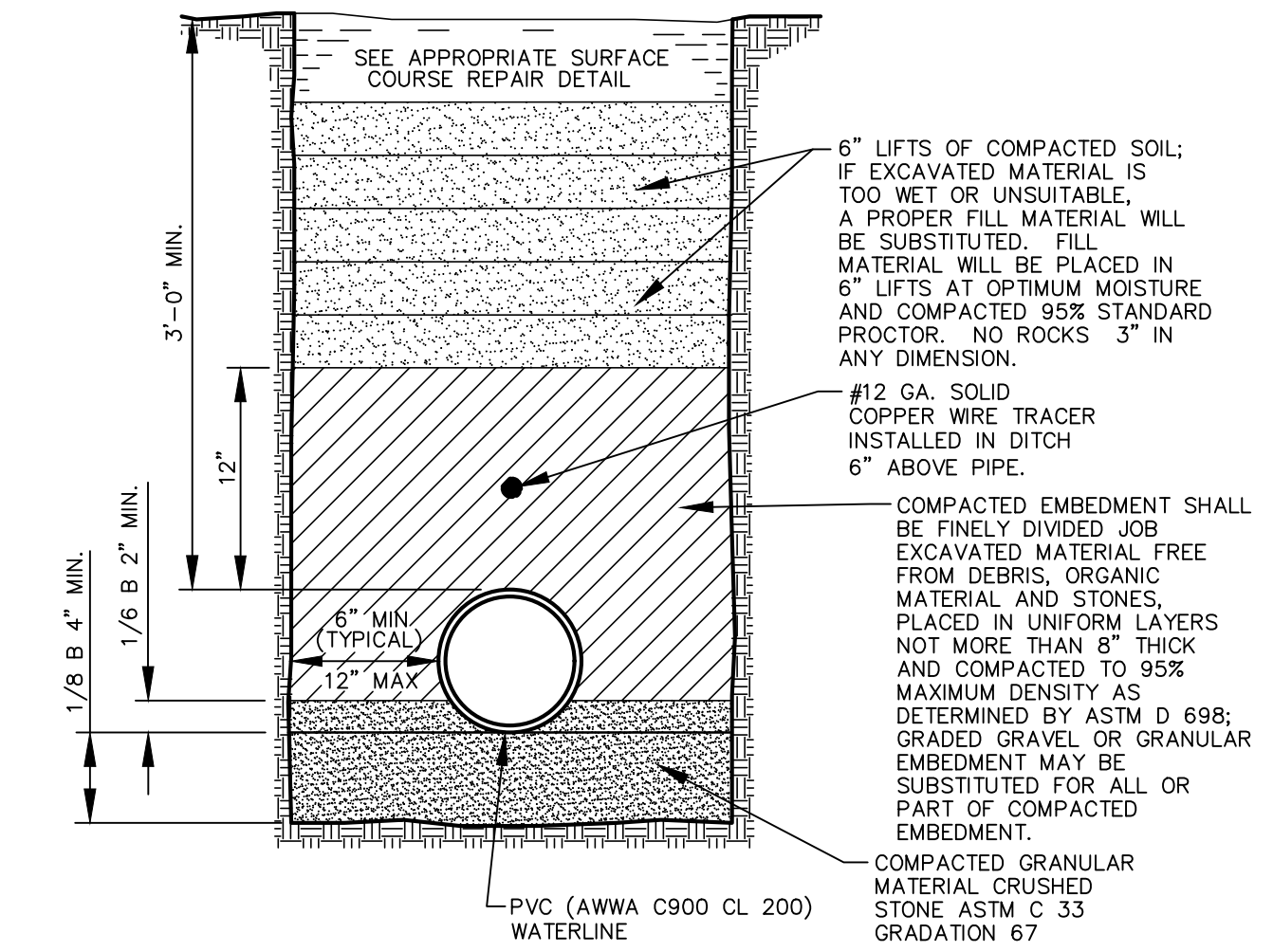
UTILITY PLAN

SHEET 9 OF XX
C500

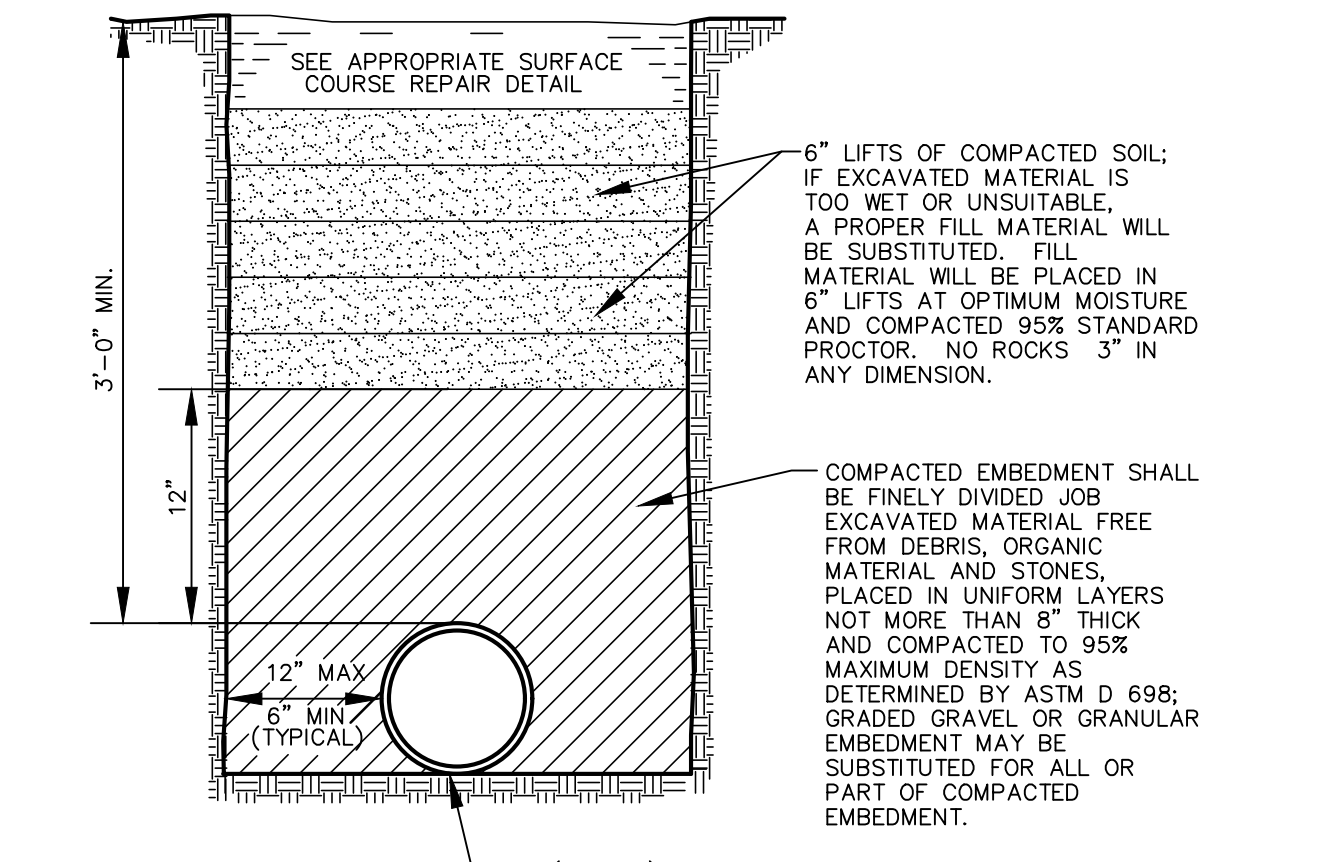
LEGEND

SYMBOLS	ABBREVIATIONS	LINETYPES	UTILITIES
<ul style="list-style-type: none"> CB CATCH BASIN DI DROP INLET ET ELEC. TRANSFORMER 80.00 ELEVATION (EXIST. GRADE) 80.00 ELEVATION (FINISH GRADE) ⊗ FIRE HYDRANT ⊗ GAS METER ⊗ GAS VALVE ⊗ IRON PIN ⊗ IRON PIN SET ⊗ IRON PIN OLD ⊗ N&C NAIL & CAP ⊗ OT OPEN TOP ⊗ RB REBAR ⊗ RCP REINFORCED CONCRETE PIPE ⊗ R/W RIGHT OF WAY ⊗ SSE SANITARY SEWER EASEMENT ⊗ SL SETBACK LINE ⊗ VCP VITRIFIED CLAY PIPE 	<ul style="list-style-type: none"> BL BUILDING LINE CL CENTERLINE CT CRIMP TOP DE DRAINAGE EASEMENT EP EDGE OF PAVEMENT FFE FINISHED FLOOR ELEVATION FG FINISHED GRADE IE INVERT ELEVATION IPS IRON PIN SET IPO IRON PIN OLD N&C NAIL & CAP OT OPEN TOP RB REBAR RCP REINFORCED CONCRETE PIPE R/W RIGHT OF WAY SSE SANITARY SEWER EASEMENT SL SETBACK LINE VCP VITRIFIED CLAY PIPE 	<ul style="list-style-type: none"> —CIV— CABLE TV —X— CHAIN LINK FENCE (PROPOSED) —X— CHAIN LINK FENCE (EXISTING) —680— CONTOURS - EXIST. GRADE —(678)— CONTOURS - FINISHED GRADE —FOC— FIBER OPTIC —FM— FORCE MAIN —GAS— GAS LINE —OHP— OVERHEAD POWER —OHT— OVERHEAD TELEPHONE —RD— ROOF DRAIN - NEW —SS— SANITARY SEWER - EXIST. —NS— SANITARY SEWER - NEW —S— SILT FENCE —SD— STORM SEWER - EXIST. —NSD— STORM SEWER - NEW —UGP— UNDERGROUND POWER —UGT— UNDERGROUND TEL —W— WATER LINE - EXIST. —W— WATER - NEW —WF— WOOD FENCE —LPS— LIMITS OF DISTURBANCE 	<ul style="list-style-type: none"> —SS— SANITARY SEWER - EXIST. —NS— SANITARY SEWER - NEW —S— SILT FENCE —SD— STORM SEWER - EXIST. —NSD— STORM SEWER - NEW —UGP— UNDERGROUND POWER —UGT— UNDERGROUND TEL —W— WATER LINE - EXIST. —W— WATER - NEW —WF— WOOD FENCE —LPS— LIMITS OF DISTURBANCE

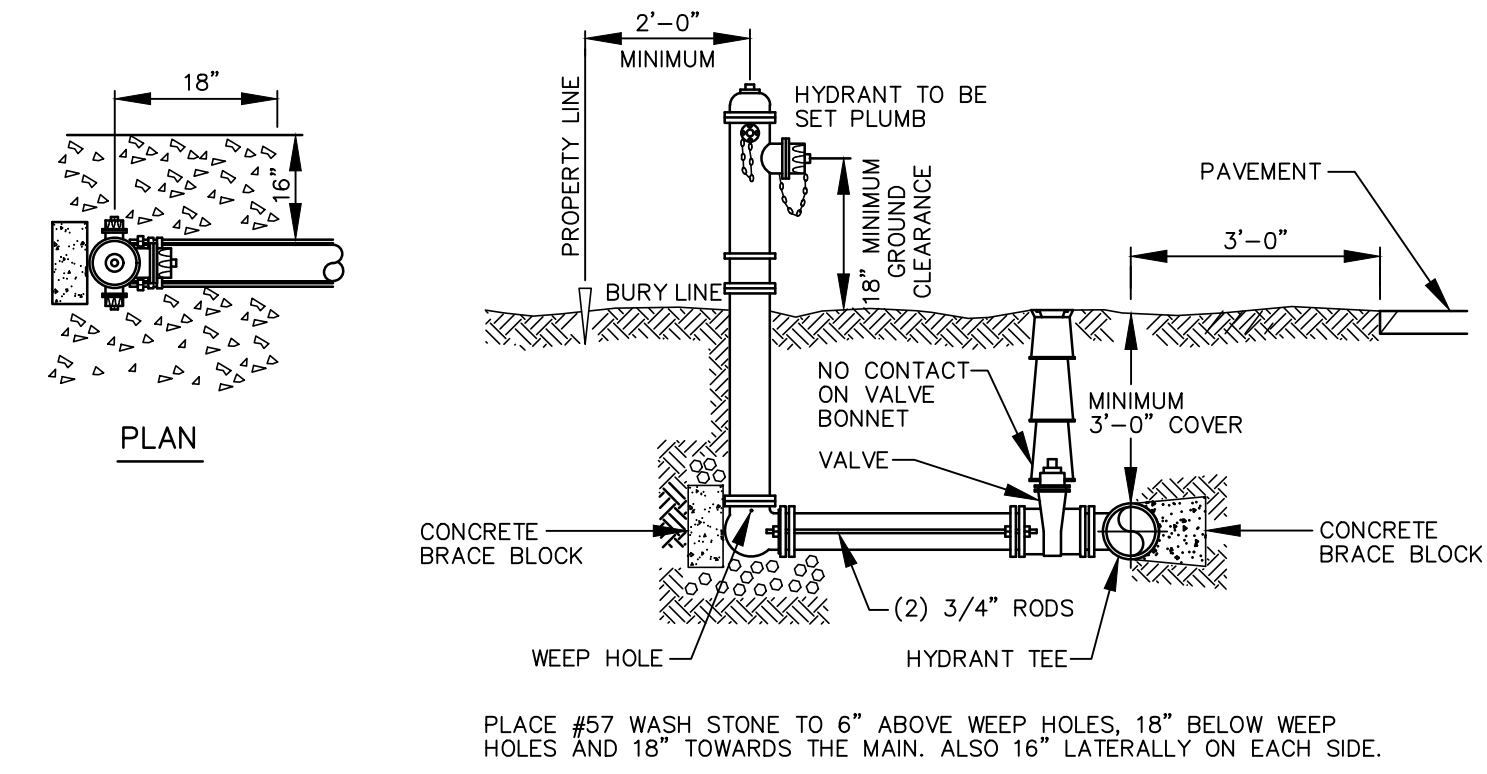
GRAPHIC SCALE
 1 inch = 30 ft.



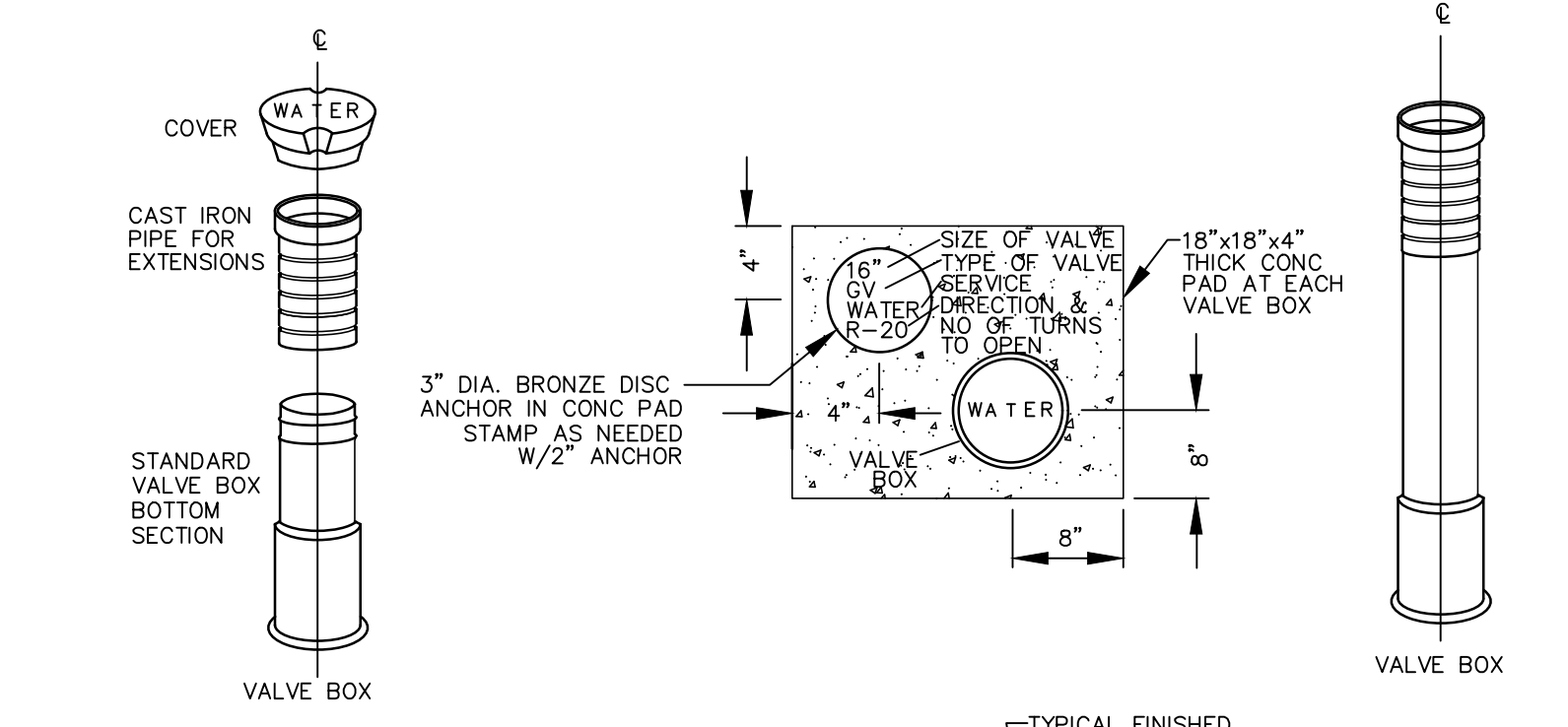
PVC WATER LINE TRENCH NO SCALE



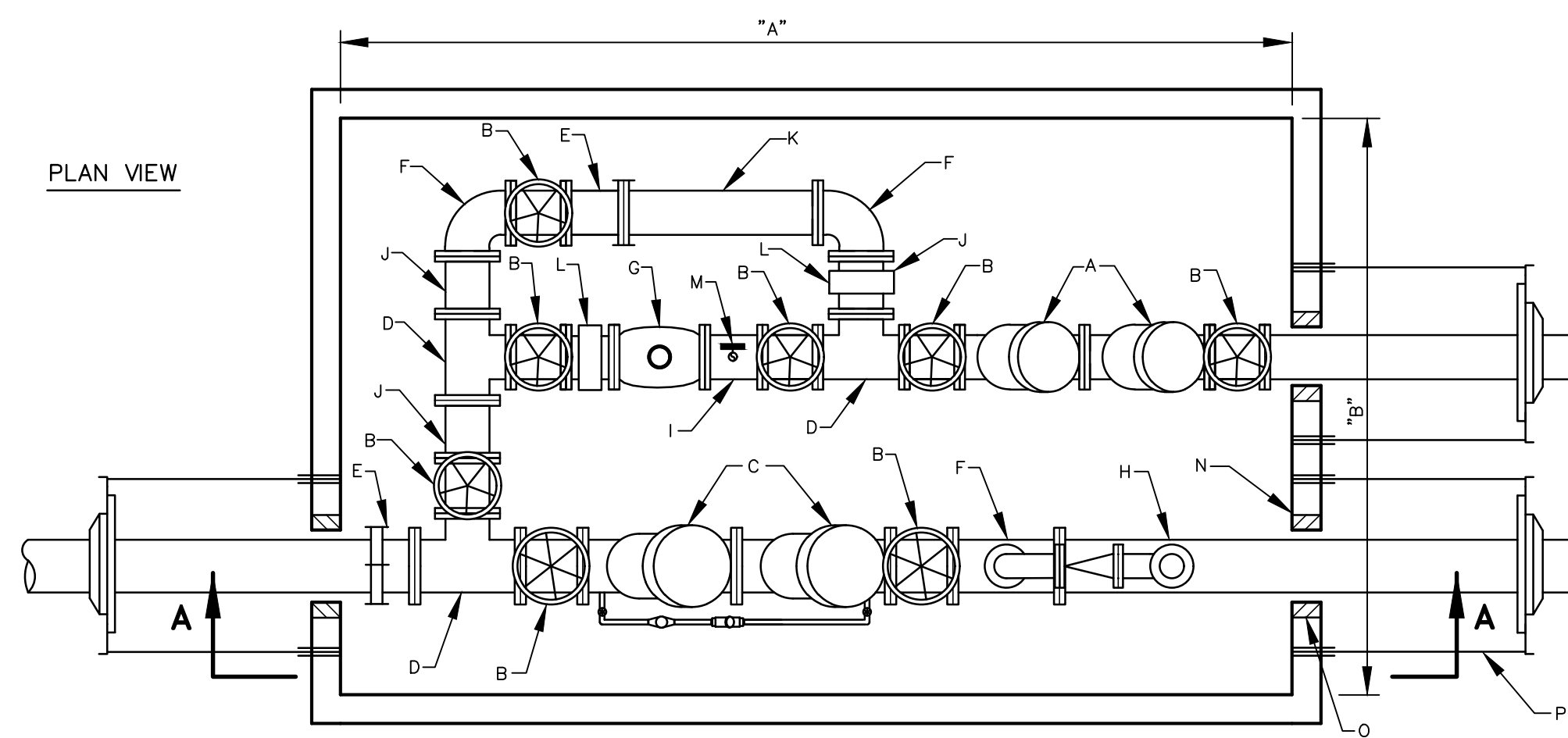
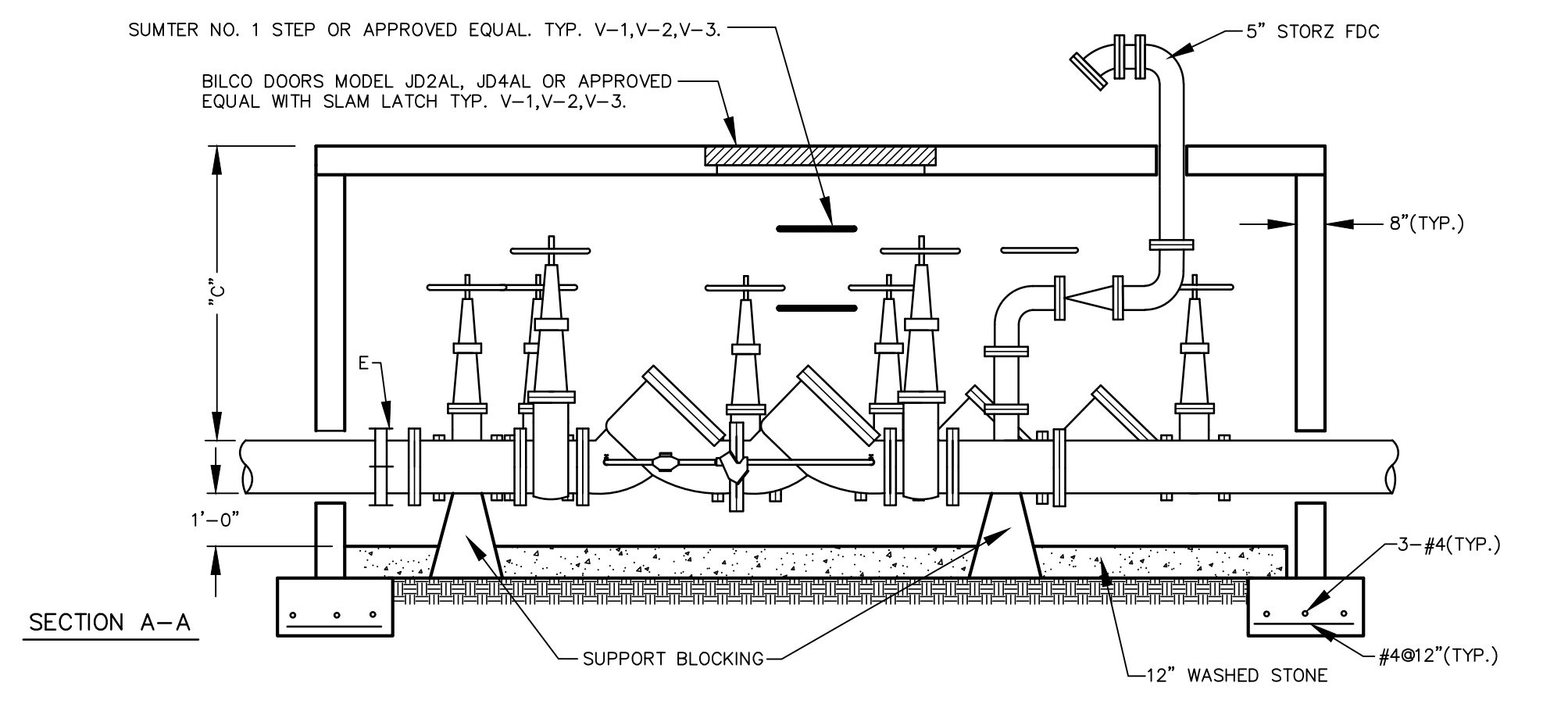
DIP WATER LINE TRENCH NO SCALE



FIRE HYDRANT ASSEMBLY NO SCALE



GATE VALVE AND BOX INSTALLATION NO SCALE



BACKFLOW PREVENTER VAULT WITH FIRE AND POTABLE WATER LINES NO SCALE

LINE SIZE	A	B	C	DOOR SIZE
2"	-	-	-	-
3"	-	-	-	-
4"	-	-	-	-
6"	13'-0"	9'-0"	5'-0"	4' x 4' DBL. DR.
8"	13'-0"	9'-0"	5'-0"	4' x 4' "
10"	16'-6"	10'-0"	6'-0"	5' x 5' " (JD4AL)
12"	16'-6"	10'-0"	6'-0"	5' x 5' " (JD4AL)

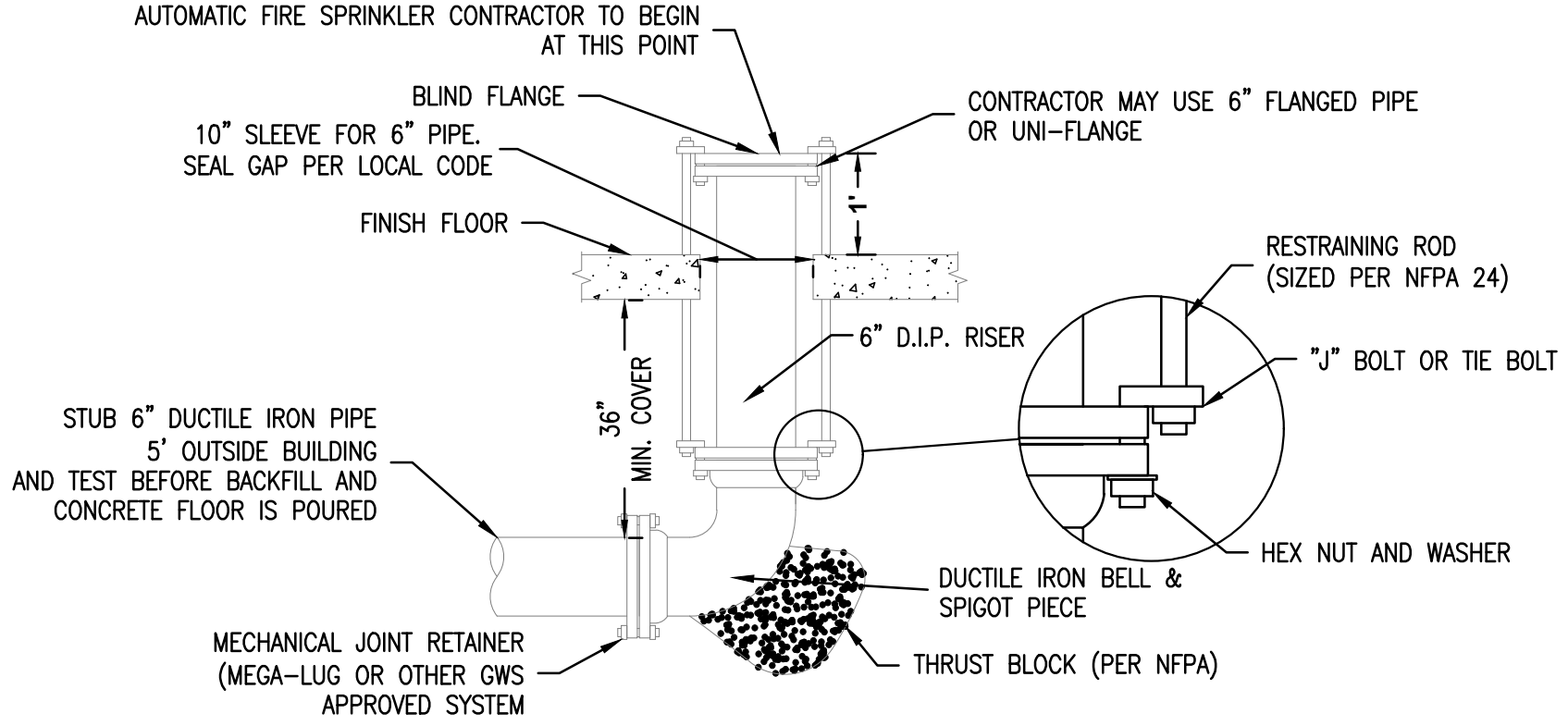
MINIMUM INSIDE DIMENSION

LEGEND

A- DOUBLE CHECK VALVE ASS'LY AS APPROVED BY S.C.D.H.E.C.
 B- O S & Y RESILIENT WEDGE VALVE FLG. X FLG. WITH HANDWHEEL OPERATOR AS MANUFACTURED BY MUELLER, U.S. PIPE & AMERICAN FLOW CONTROL.
 C- DOUBLE CHECK VALVE ASS'LY AS APPROVED BY S.C.D.H.E.C. W/DOUBLE CHECK DETECTOR ASS'LY (E.G. WATTS 709 DC DA OSY RW, FABCO 806 DDC, OR EQUAL).
 D- D.I. FLANGED TEE
 E- COUPLING ADAPTER
 F- D.I. 90 DEG. BEND
 G- METER (PROVIDED AT COST BY WATER DISTRICT) 3" METER
 H- 5" STORZ CONNECTION (THDS. TO MATCH FIRE DEPT. REQ'TS.)
 I- D.I. PIPE FLG. X P.E. 12" LG.
 J- D.I. PIPE FLG. X P.E. 12" LG.
 K- D.I. PIPE FLG. X P.E. LENGTH AS REQ'D.
 L- STRAINER
 M- 2" TAP ON TOP OF SPOOL PIECE WITH 3" NIPPLE & 2" VALVE
 N- 4"x4"x7/8" STEEL WASHER (COAT W/ COAL TAR EPOXY)
 O- LINK SEALS NO. 1.2-425-C
 P- 5/8" ALL THREAD S.S. ROD
 (NOTE: ALL MATERIAL PER WATER DISTRICT SPECS)

NOTES

- ALL BACKFLOW PREVENTION DEVICES SHALL BE APPROVED BY S.C.D.H.E.C.
- FOR LOCATIONS CONSIDERED HIGH HAZARD, A REDUCED PRESSURE TYPE BACKFLOW PREVENTION DEVICE APPROVED BY S.C.D.H.E.C. SHALL BE USED.
- VAULTS CONTAINING REDUCED PRESSURE BACKFLOW PREVENTERS SHALL HAVE A CONCRETE FLOOR WITH POSITIVE DRAIN OR SUMP PUMP.
- VAULT TO BE PRECAST CONCRETE POURED IN PLACE OR CONCRETE BLOCK.
- CONCRETE SHALL BE 3000 PSI, 28 DAY COMPRESSIVE STRENGTH, MINIMUM.
- REINFORCING STEEL IN TOP SLAB & WALLS SHALL BE #5 REBAR @ 12" O.C. E.A. DIRECTION IN CENTER OF SLAB & WALLS.
- BLOCK WALLS SHALL BE 8" C.M.U. WITH CELLS FILLED W/ GROUT. USE #5 REBAR @ 16" O.C.
- REINFORCING STEEL SHALL BE GRADE 60 STEEL.
- IF SOIL CONDITIONS DICTATE, DRAIN SYSTEM MAY BE REQUIRED.
- PRECAST CONCRETE VAULT SIMILAR TO TINDALL CONCRETE VAULT MAY BE SUBSTITUTED UPON APPROVAL.



UNDERGROUND RESTRAINT DETAIL

DESIGN DATA:

- DIMENSIONS OF THRUST BLOCK IN FEET BASED ON 2000 POUNDS PER SQUARE FOOT SOIL BEARING PRESSURE AND 200 POUNDS PER SQUARE INCH TEST PRESSURE. ACTUAL INSIDE DIAMETER OF DUCTILE IRON PIPE, CLASS 51 USED AS STANDARD.
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. HIGH EARLY CONCRETE SHALL BE USED.

NOTE: SOIL CONDITIONS SHALL BE VERIFIED BY WATER DISTRICT INSPECTOR BEFORE DESIGN IS IMPLEMENTED.

MINIMUM DIMENSIONS FOR CONCRETE BLOCKING

BEND SIZE	MINIMUM DIMENSIONS (FEET)				VOLUME CY
	A	B	C	D	
11 1/4"	6" 1'-0"	2'-0"	4"	1'-0"	0.05
	8" 1'-0"	2'-0"	5"	1'-0"	0.09
	10" 1'-0"	2'-0"	6"	1'-0"	0.09
	12" 1'-0"	2'-0"	7"	1'-0"	0.09
22 1/2"	14" 2'-0"	2'-0"	11"	1'-6"	0.16
	16" 2'-0"	2'-0"	11"	2'-0"	0.23
	18" 2'-0"	2'-0"	11"	2'-0"	0.23
	20" 2'-0"	2'-0"	11"	2'-0"	0.23
45"	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
90"	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
	24" 3'-0"	2'-0"	1'-6"	3'-0"	0.50
TEES & PLUGS	6" 1'-0"	2'-0"	10"	1'-6"	0.08
	8" 1'-0"	2'-0"	11"	2'-0"	0.23
	10" 2'-0"	2'-0"	11"	2'-0"	0.41
	12" 2'-0"	2'-0"	11"	2'-0"	0.75

CONCRETE THRUST BLOCK NO SCALE

SITE DESIGN, INC.
 CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

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THE PARK AT HANAHAN
 CITY OF HANAHAN
 BERKELEY COUNTY
 SOUTH CAROLINA

THE PARK AT HANAHAN, LP
 3715 NORTHSIDE PKWY, NW
 BLDG 400, SUITE 120
 ATLANTA, GA 30327

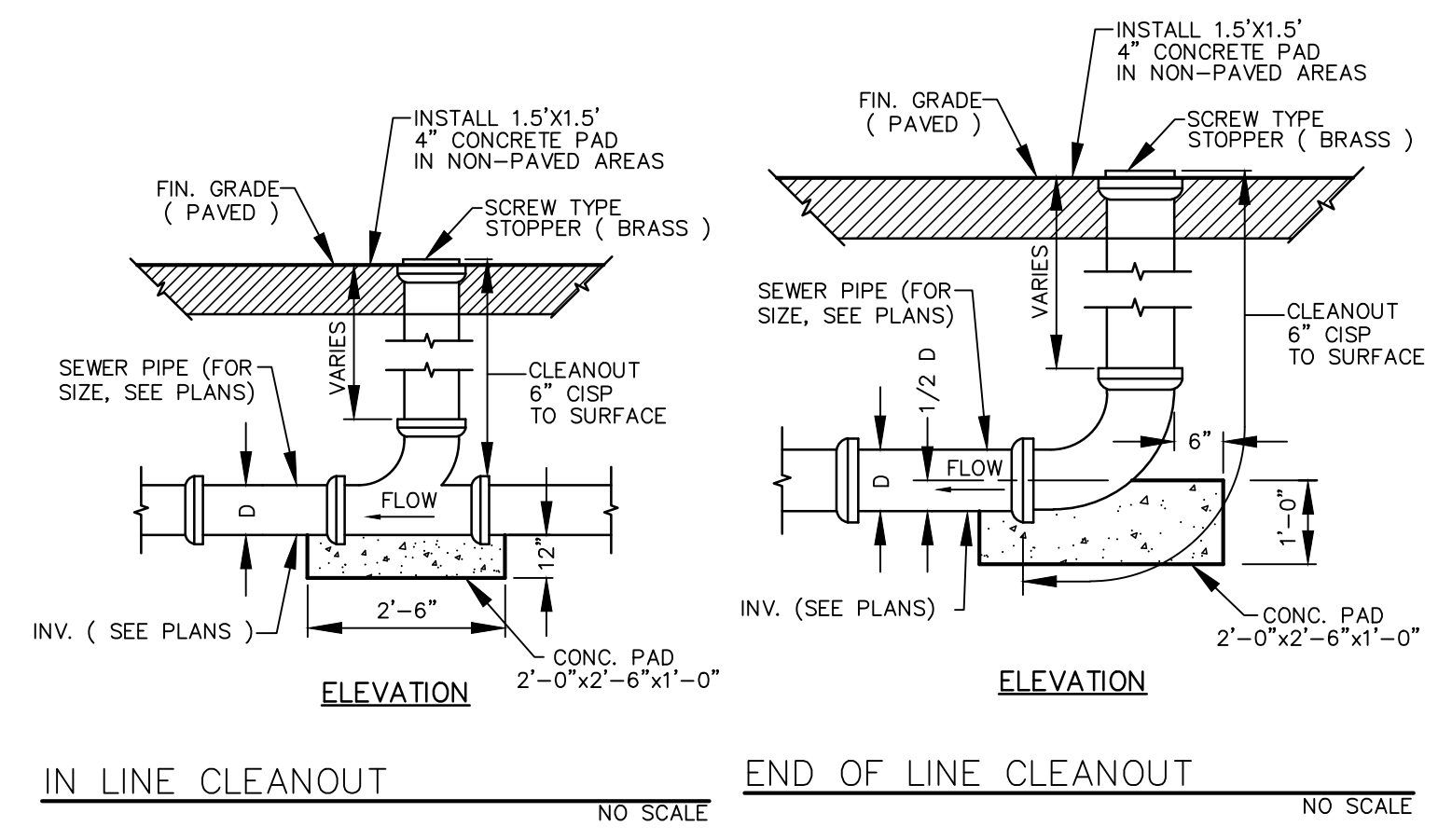
HORIZ. SCALE: N/A
VERT. SCALE: N/A
DESIGNED BY: WTB
DRAWN BY: WTB
CHECKED BY: CSW
DATE: 1/8/2021

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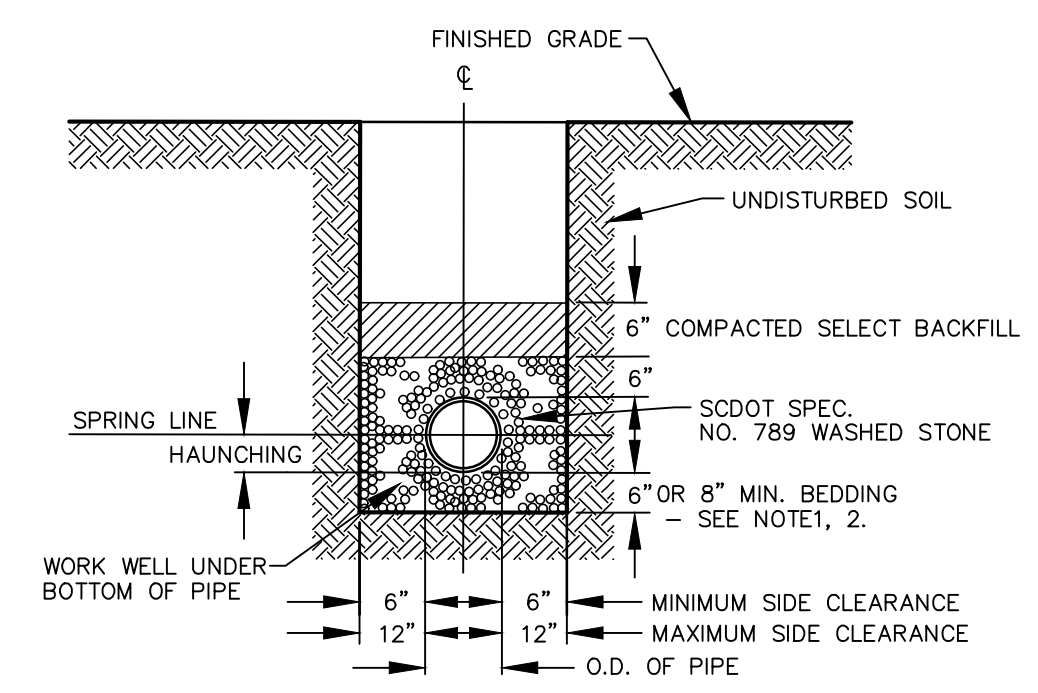
WATER DETAILS

SHEET 100F XX

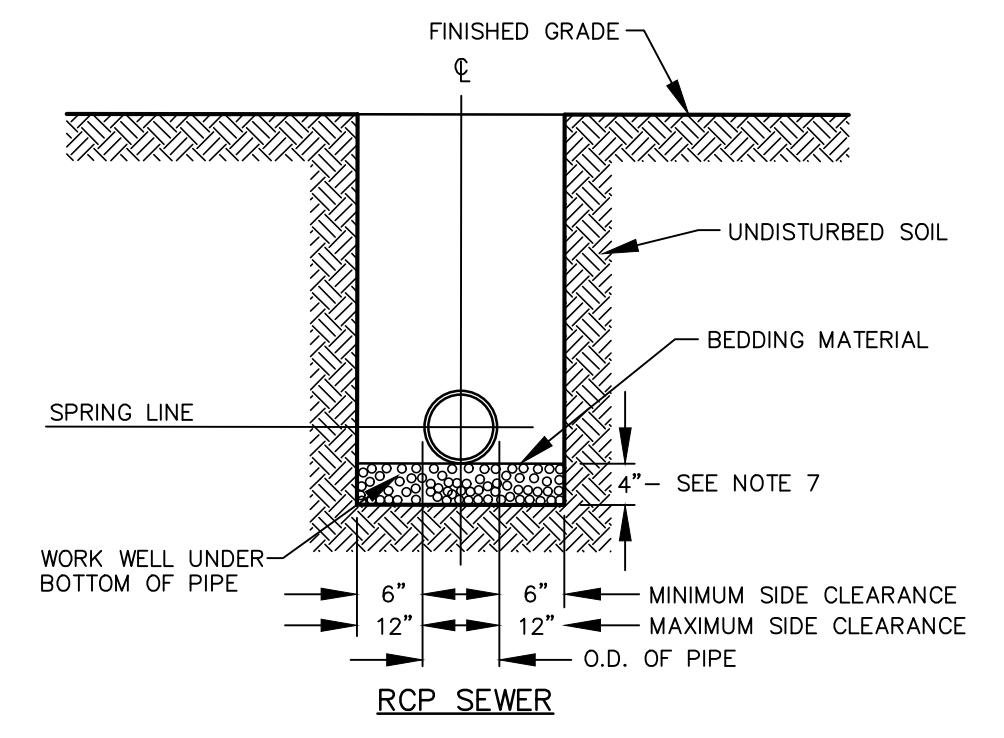
C510



IN LINE CLEANOUT NO SCALE
END OF LINE CLEANOUT NO SCALE



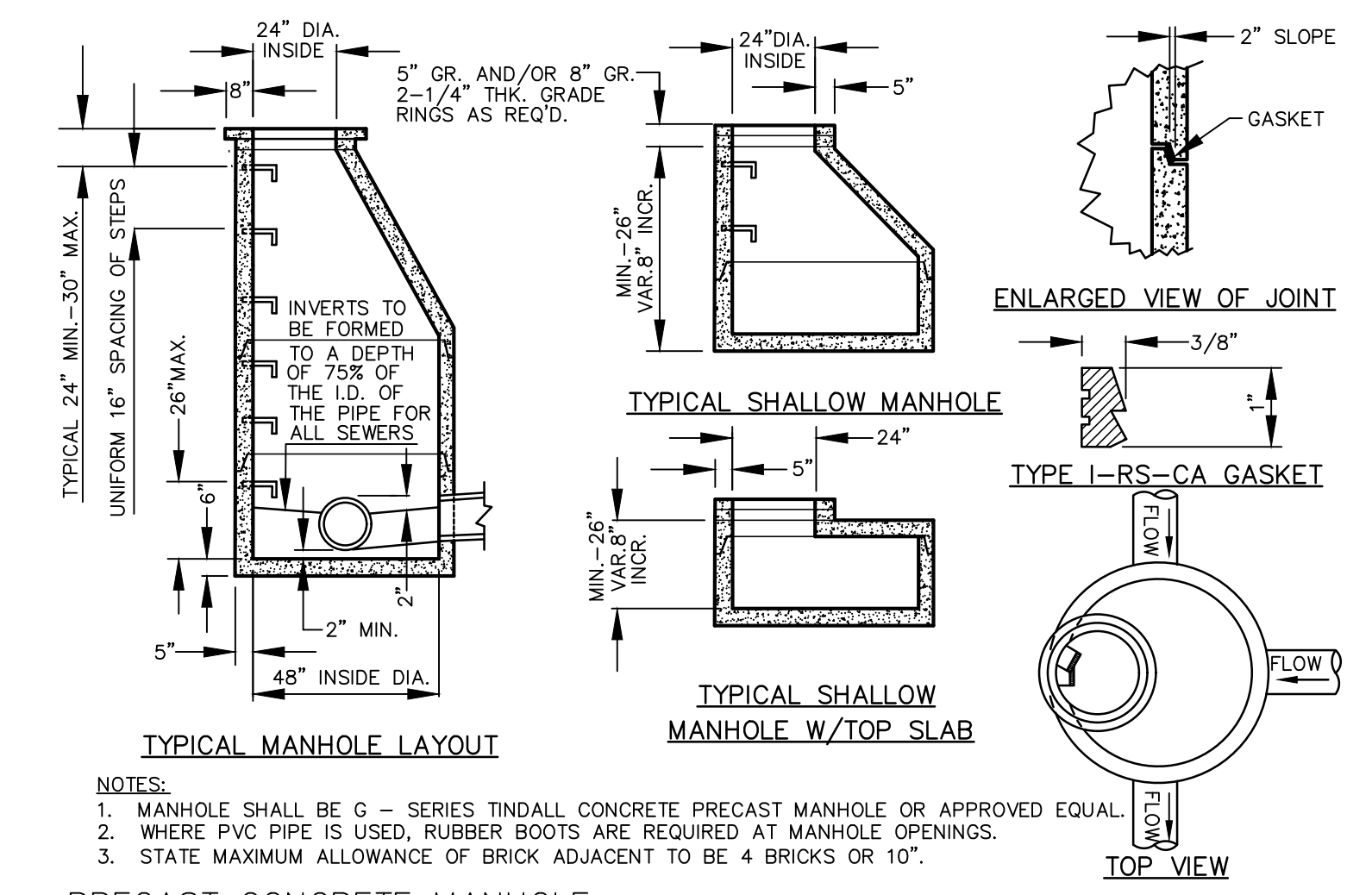
PVC & HDPE SEWER



RCP SEWER

- NOTES:
1. WET OR UNSTABLE BOTTOMS, EXCAVATE MIN. 8" BELOW BELL. BACKFILL WITH WASHED CRUSHED STONE.
 2. ROCK BOTTOMS, EXCAVATE MIN. 6" BELOW BELL. BACKFILL WITH WASHED CRUSHED STONE.
 3. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 4. NO ROCKS OR BOULDERS 6" OR LARGER TO BE USED IN BACKFILL. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL EXCEPT AS NOTED.
 5. BACKFILL SHALL BE TAMPED IN 6" LAYERS.
 6. WET OR UNSTABLE BOTTOMS, EXCAVATE MIN. 4" BELOW BELL. BACKFILL WITH WASHED CRUSHED STONE.

PIPE BEDDING DIMENSIONS FOR PVC, HDPE & RCP SEWER/DRAIN PIPE NO SCALE



PRECAST CONCRETE MANHOLE NO SCALE

SITE DESIGN, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

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228 ROCKY CREEK ROAD
28015
PH: (864)271-0686

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SOUTH CAROLINA
Professional Engineer
No. 24787
T. J. [Signature]

SITE DESIGN, INC.
No. 000122

SC. REG NO. 24201

THE PARK AT HANAHAN

CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

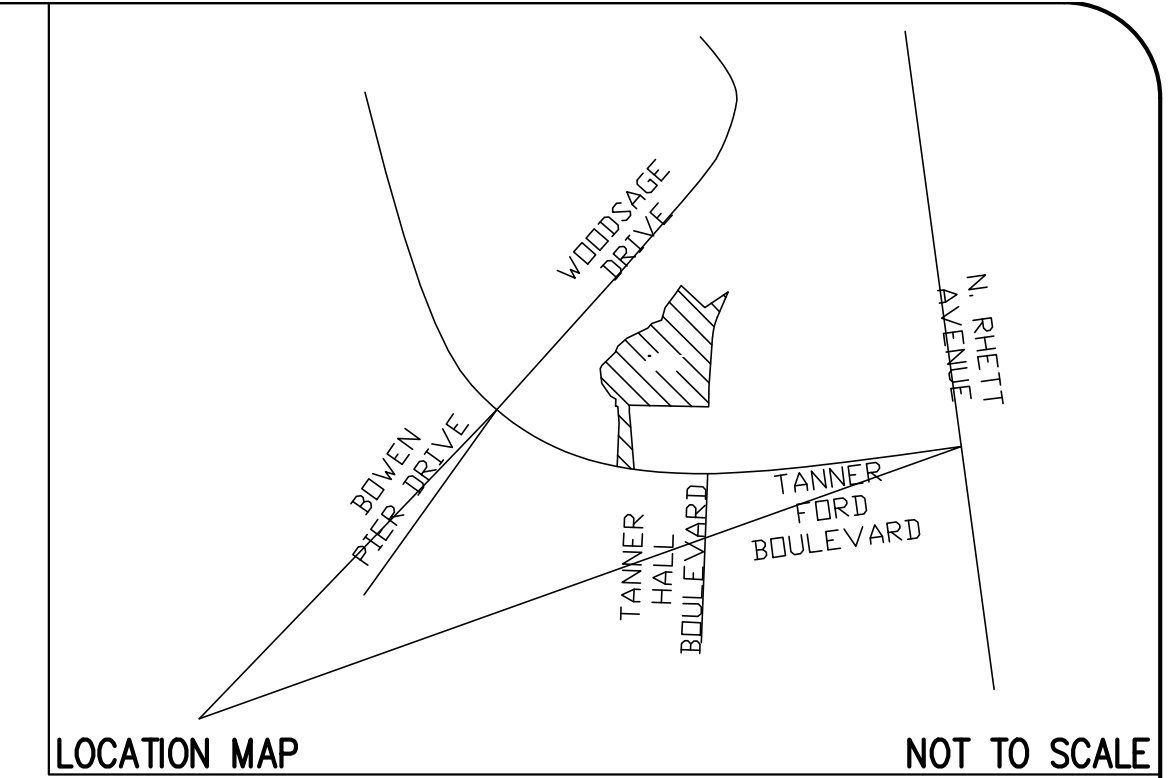
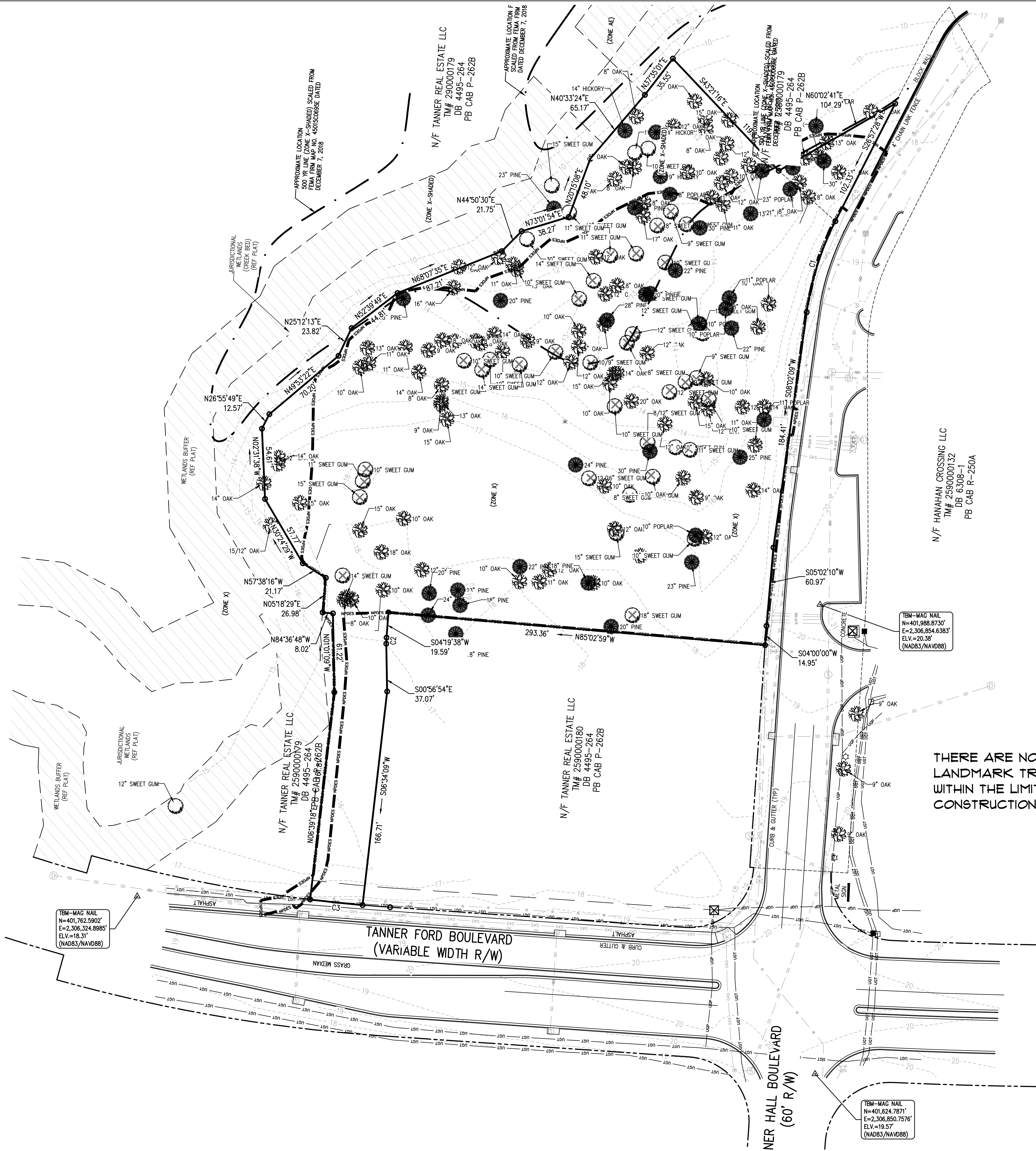
HORZ. SCALE:	N/A
VERT. SCALE:	N/A
DESIGNED BY:	WTB
DRAWN BY:	WTB
CHECKED BY:	CSW
DATE:	1/8/2021

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**SANITARY SEWER
DETAILS**

SHEET 11 OF XX

C511



SITE DATA:

PIN: 2590000145
 TOTAL SITE = 2.9 AC (PLUS 0.25 AC EASEMENT)(XX.XXX SF)
 TOTAL DISTURBED AREA = XX.XX AC (XX.XXX SF)

ZONING - RM (MULTI-FAMILY))

SETBACKS -
 FRONT - 20'
 REAR - 20'
 SIDES - 20'

ALL EXISTING TREES THAT ARE LOCATED OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL BE PROTECTED DURING CONSTRUCTION - SEE DETAIL FOR PROTECTION FENCING

THERE ARE NO PROTECTED OR LANDMARK TREES LOCATED WITHIN THE LIMITS OF CONSTRUCTION



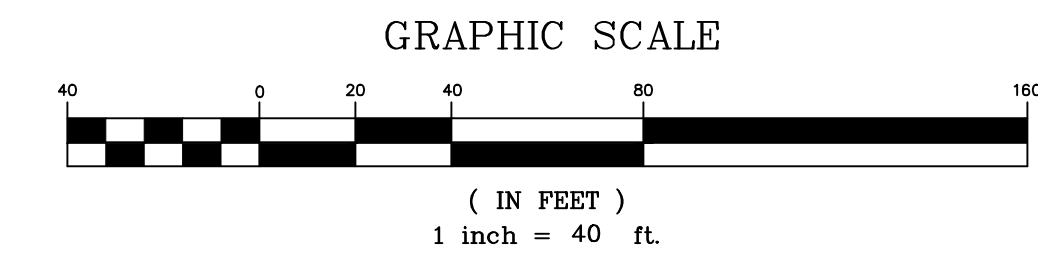
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LEGEND

SYMBOLS	ABBREVIATIONS
CB □ CATCH BASIN	BL BUILDING LINE
DI □ DROP INLET	CL CENTERLINE
ETC ELEC TRANSFORMER	CT CRIMP TOP
x 90.0 ELEVATION (EXIST. GRADE)	DE DRAINAGE EASEMENT
x 100.0 ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
⊗ FIRE HYDRANT	FFE FINISHED FLOOR ELEVATION
⊗ GAS METER	FG FINISHED GRADE
⊗ GAS VALVE	IE INVERT ELEVATION
IP ○ IRON PIN	IPS IRON PIN SET
LP ○ LIGHT POLE	IPD IRON PIN OLD
MHBS ○ MANHOLE (BELLSOUTH)	N&C NAIL & CAP
MHSD ○ MANHOLE (SD)	OT OPEN TOP
MHSS ○ MANHOLE (SS)	RB REBAR
PF ○ POWER POLE	RCF REINFORCED CONCRETE PIPE
TEL ○ TELEPHONE	R/W RIGHT OF WAY
⊗ WATER METER	SSE SANITARY SEWER EASEMENT
WV ⊗ WATER VALVE	SL SETBACK LINE
→ STORMWATER FLOW	VCP VITRIFIED CLAY PIPE
→ TRAFFIC FLOW	

LINETYPES

— CIV	— CABLE TV	— SS	SANITARY SEWER - EXIST.
— X	CHAIN LINK FENCE (PROPOSED)	— SS	SANITARY SEWER - NEW
— X	CHAIN LINK FENCE (EXISTING)	— SF	SILT FENCE
— 680	CONTOURS - EXIST. GRADE	— SS	STORM SEWER - EXIST.
— (678)	CONTOURS - FINISHED GRADE	— SS	STORM SEWER - NEW
— 70C	FIBER OPTIC	— UOP	UNDERGROUND POWER
— FM	FORCE MAIN	— UOT	UNDERGROUND TEL
— GAS	GAS LINE	— W	WATER LINE - EXIST.
— OP	OVERHEAD POWER	— W	WATER - NEW
— OT	OVERHEAD TELEPHONE	— W	WOOD FENCE
— RD	ROOF DRAIN - NEW	— WP	LIMITS OF DISTURBANCE



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 228 ROCKY CREEK ROAD
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SC. REG. NO. 52

THE PARK AT HANAHAN

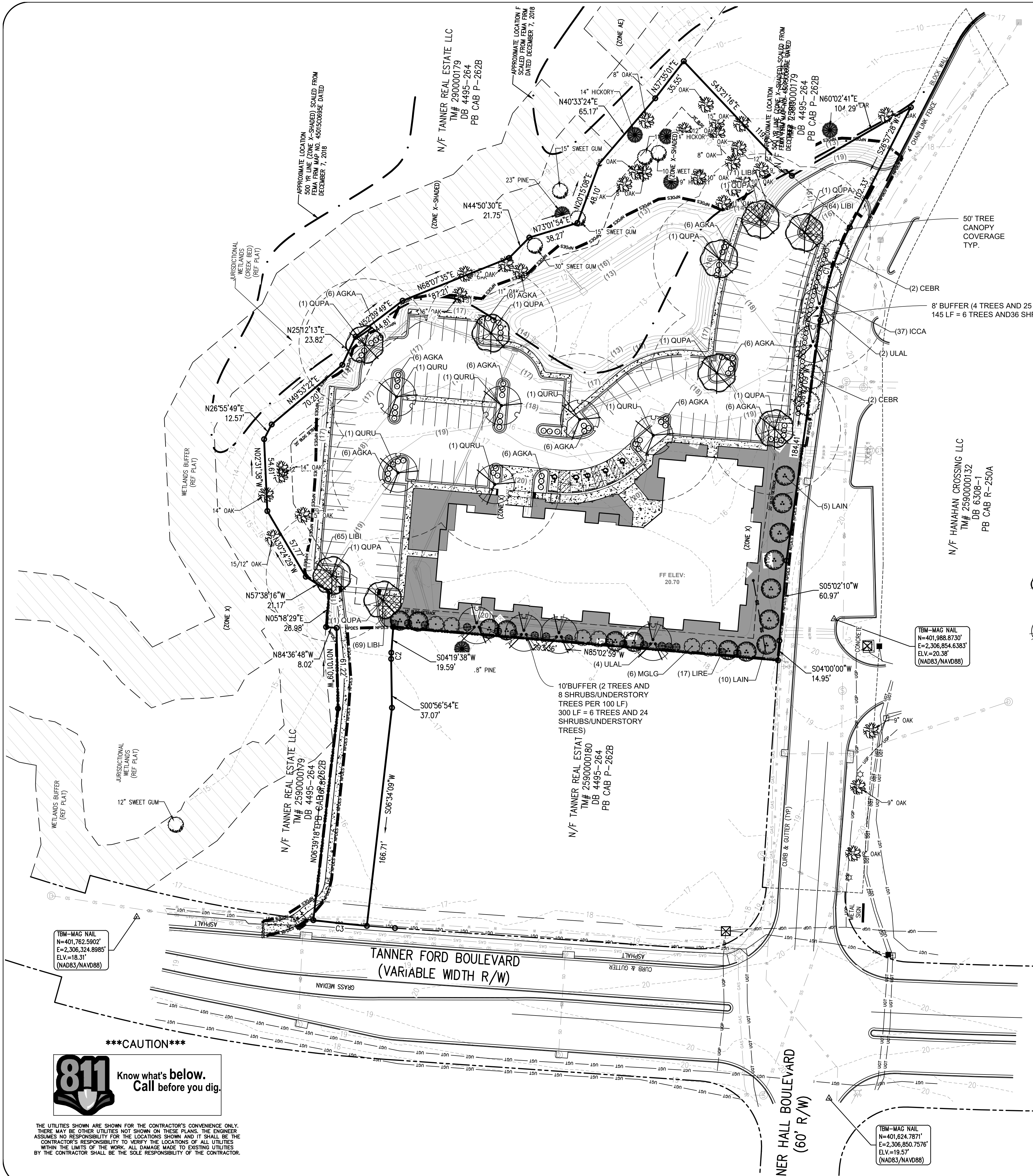
CITY OF HANAHAN
 BERKELEY COUNTY
 SOUTH CAROLINA

THE PARK AT HANAHAN, LP
 3715 NORTHSIDE PKWY, NW
 BLDG 400, SUITE 120
 ATLANTA, GA 30327

HORIZ. SCALE: 1" = 40'
VERT. SCALE: N/A
DESIGNED BY: JAW
DRAWN BY: JAW
CHECKED BY: AGB
DATE: 1/8/2021

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EXISTING TREE PLAN

SHEET 12 OF 14
L000



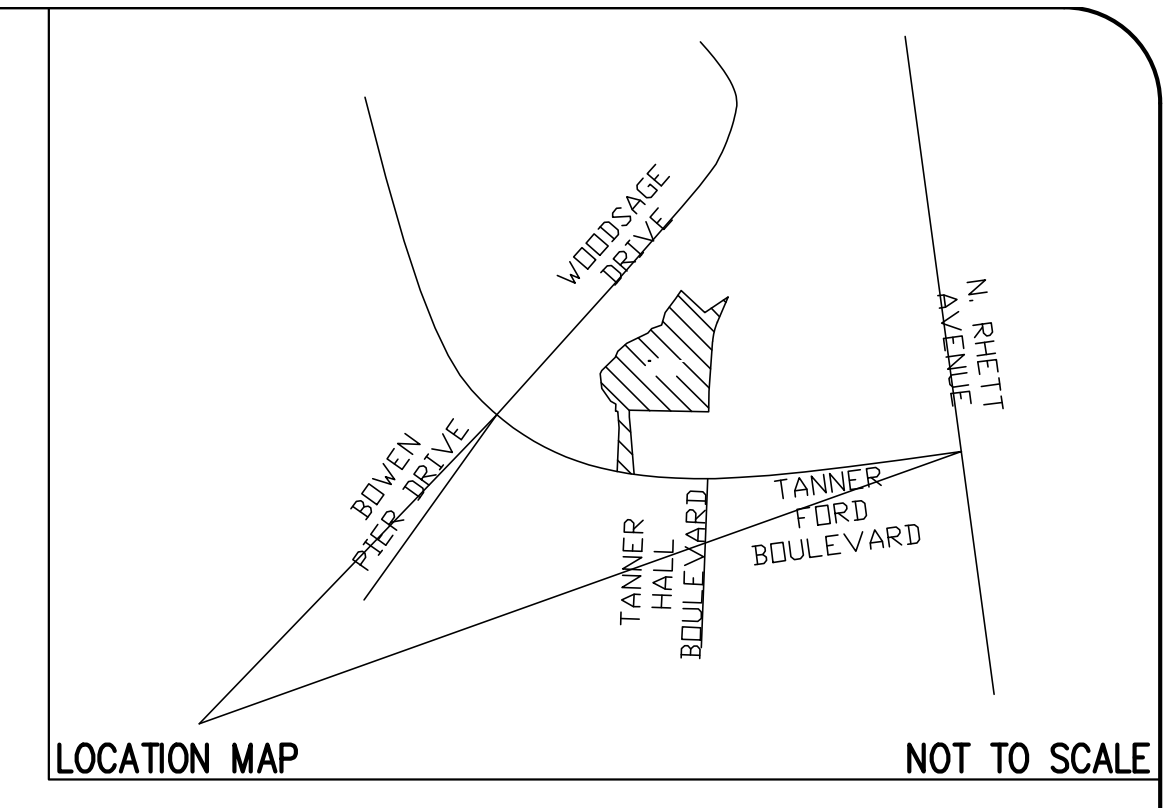
ALL AREAS SODDED OR PLANTED SHALL BE AUTOMATICALLY IRRIGATED WITH WEATHER STATION OR SOIL MOISTURE SENSOR PROVIDED.
 SHRUB BEDS - DRIP IRRIGATION
 SOD AREAS - SPRAY IRRIGATION

IRRIGATION SHALL BE ZONED SO THAT PLANTING BEDS AND SOD AREAS ARE ON SEPARATE SYSTEMS

NO IRRIGATION WILL BE INSTALLED IN THE SCODT ROW

ALL EXISTING TREES THAT ARE LOCATED OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL BE PROTECTED DURING CONSTRUCTION - SEE DETAIL FOR PROTECTION FENCING

GENERAL NOTES AND DETAILS FOUND ON SHEET L101



SITE DATA:

PIN: 2590000145
 TOTAL SITE = 2.9 AC (PLUS 0.25 AC EASEMENT)(XX,XXX SF)
 TOTAL DISTURBED AREA = XX.XX AC (XX,XXX SF)

ZONING - RM (MULTI-FAMILY))

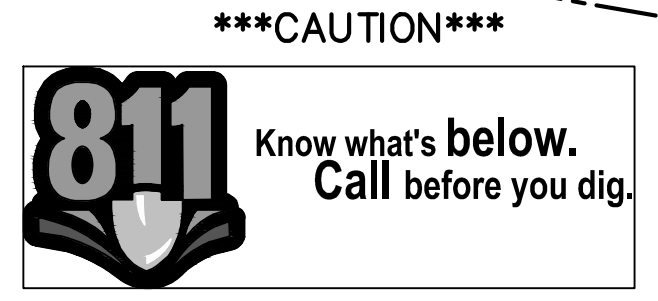
SETBACKS -
 FRONT - 20'
 REAR - 20'
 SIDES - 20'

PLANT SCHEDULE

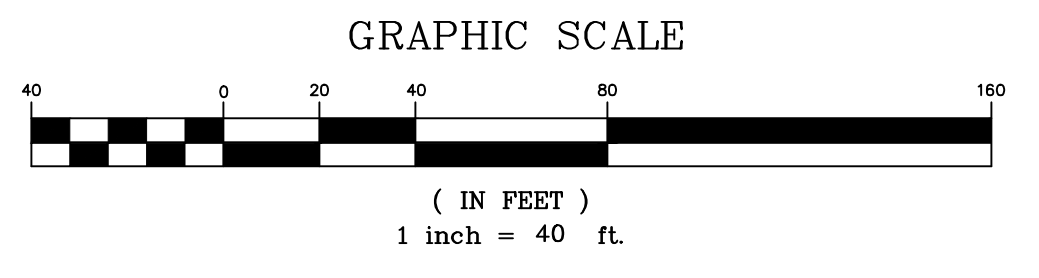
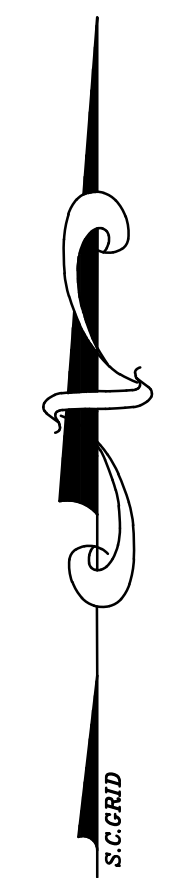
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	CEBR	Cedrus deodara 'Bracken's Best Cedar'	Bracken's Best Deodar Cedar	3' Cal.	4		
	QUPA	Quercus palustris	Pin Oak	3' Cal. 14' Ht.	9	6' Clear Trunk	
	QURU	Quercus rubra	Red Oak	3' Cal. 14' Ht.	6	6' Clear Trunk	
	ULAL	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	3' Cal. 14' Ht.	6	6' Clear Trunk	
1'-4' EVERGREEN SHRUB	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	AGKA	Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	3 gal	66	18" Ht. Min.	
	ICCA	Ilex cornuta 'Carissa'	Carissa Holly	3 gal	37	18" Ht. Min.	
6" + EVERGREEN SHRUB	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	LIRE	Ligustrum japonicum 'Recurvifolium'	Wax leaf ligustrum	4' Ht.	17		
ORNAMENTAL TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	LAIN	Lagerstroemia indica	Crape Myrtle	2" Cal. 3 Canes Min.	15	10' Ht Min. 5' Clear Trunk	
SMALL EVERGREEN TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	MGLG	Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	6' Ht	6		
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
	LIBI	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal.	24" o.c.	269	
			BERMUDA SOD				

TBM-MAG NAIL
 N=401,762.590Z
 E=2,306,324.998S
 ELV.=18.31'
 (NAD83/NAVDB8)

TBM-MAG NAIL
 N=401,624.7871'
 E=2,306,850.7576'
 ELV.=19.57'
 (NAD83/NAVDB8)



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SC. REG. NO. 52

THE PARK AT HANAHAN

CITY OF HANAHAN
 BERKELEY COUNTY
 SOUTH CAROLINA

THE PARK AT HANAHAN, LP
 3715 NORTHSIDE PKWY, NW
 BLDG 400, SUITE 120
 ATLANTA, GA 30327

HORIZ. SCALE: 1" = 40'

VERT. SCALE: N/A

DESIGNED BY: JAW

DRAWN BY: JAW

CHECKED BY: AGB

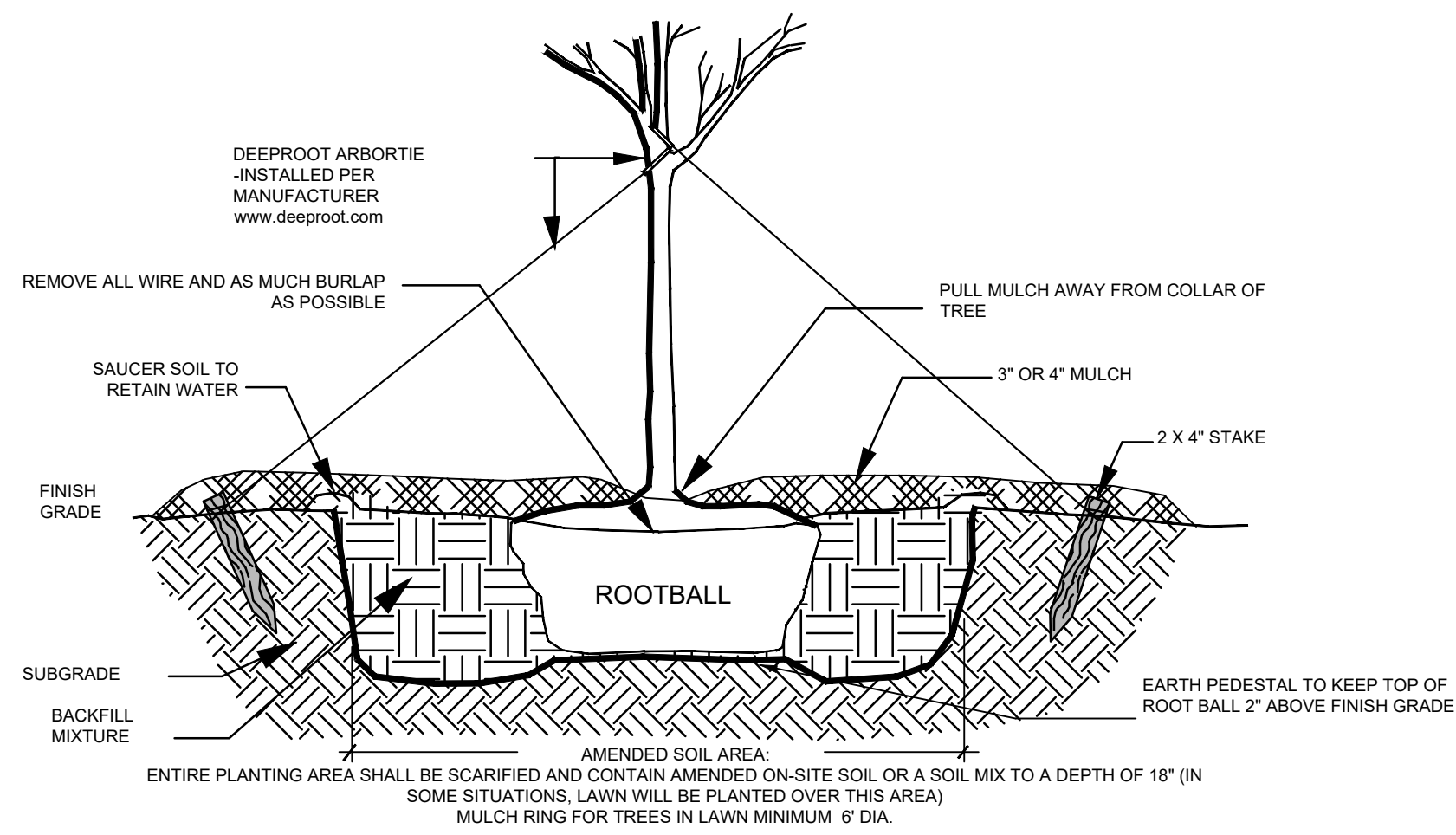
DATE: 1/8/2021

S200437-LANDSCAPE.dwg

LANDSCAPE PLAN

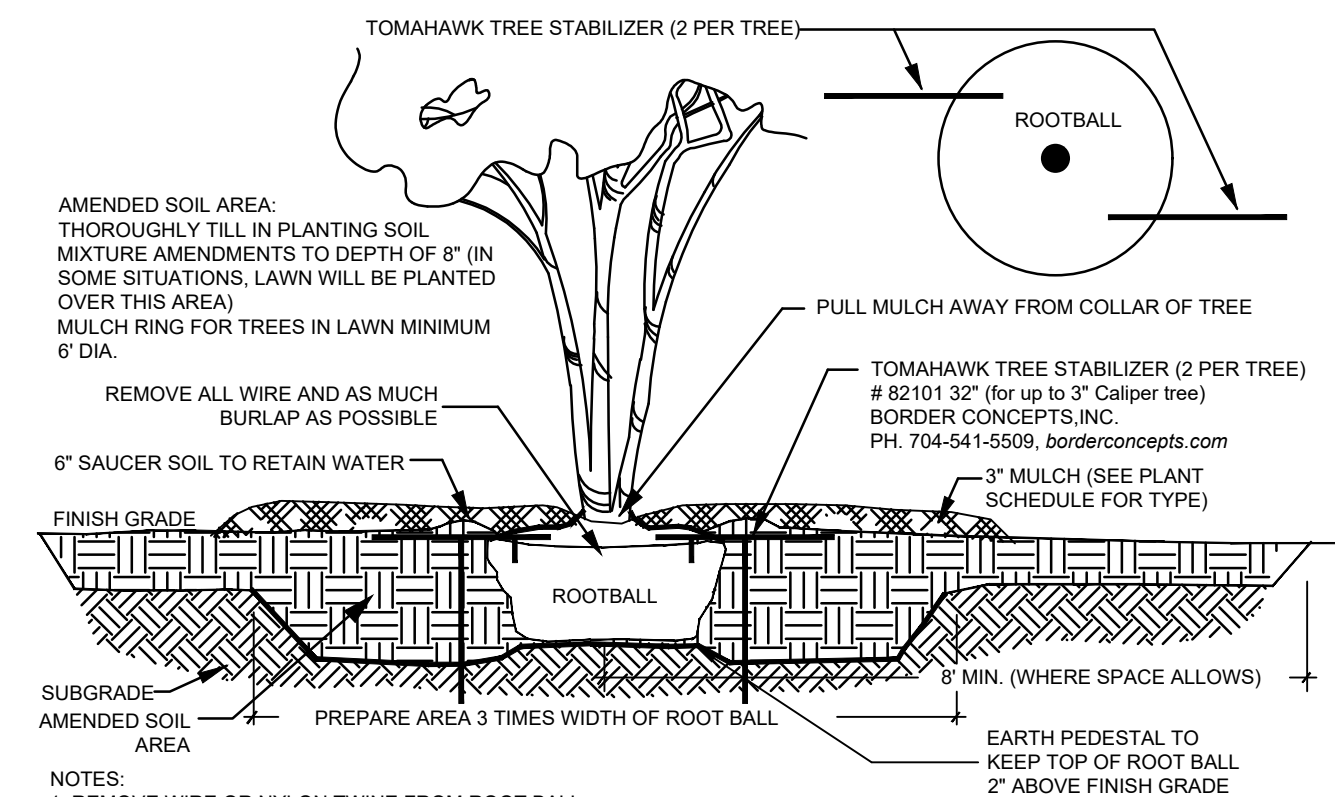
SHEET 130F14

L100



- NOTES:
1. REMOVE WIRE OR NYLON TWINE FROM ROOT BALL
 2. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE
 3. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION
 4. 4" SAUCER WILL BE OUTSIDE OF BACKFILL.

TREE OVER 2" CAL. WITH STAKING
N.T.S.



- NOTES:
1. REMOVE WIRE OR NYLON TWINE FROM ROOT BALL
 2. INSTALL TOP OF ROOT BALL 2" ABOVE FINISH GRADE
 3. SCARIFY SIDES AND BOTTOM OF PIT
 4. BACKFILL TREE PIT WITH SPECIFIED PLANTING SOIL MIXTURE IN 8" LAYERS, HAND TAMP TO REMOVE VOIDS.
 5. WHEN BACKFILLED, FILL WITH WATER
 6. AFTER BACKFILLING AND TAMPING FINAL LAYER, WATER AGAIN UNTIL NO MORE IS ABSORBED
 7. 6" SAUCER WILL BE INSIDE OF BACKFILL
 8. DO NOT WRAP TREE TRUNK.

MULTI-TRUNK TREE
N.T.S.

ALL AREAS SODDED OR PLANTED SHALL BE AUTOMATICALLY IRRIGATED WITH WEATHER STATION OR SOIL MOISTURE SENSOR PROVIDED.
SHRUB BEDS - DRIP IRRIGATION
SOD AREAS - SPRAY IRRIGATION

IRRIGATION SHALL BE ZONED SO THAT PLANTING BEDS AND SOD AREAS ARE ON SEPARATE SYSTEMS

NO IRRIGATION WILL BE INSTALLED IN THE SCDOT ROW

ALL EXISTING TREES THAT ARE LOCATED OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL BE PROTECTED DURING CONSTRUCTION - SEE DETAIL FOR PROTECTION FENCING

SITE DATA:

PIN: 2590000145
TOTAL SITE = 2.9 AC (PLUS 0.25 AC EASEMENT)XX.XXX SF)
TOTAL DISTURBED AREA = XX.XX AC (XX.XXXX SF)

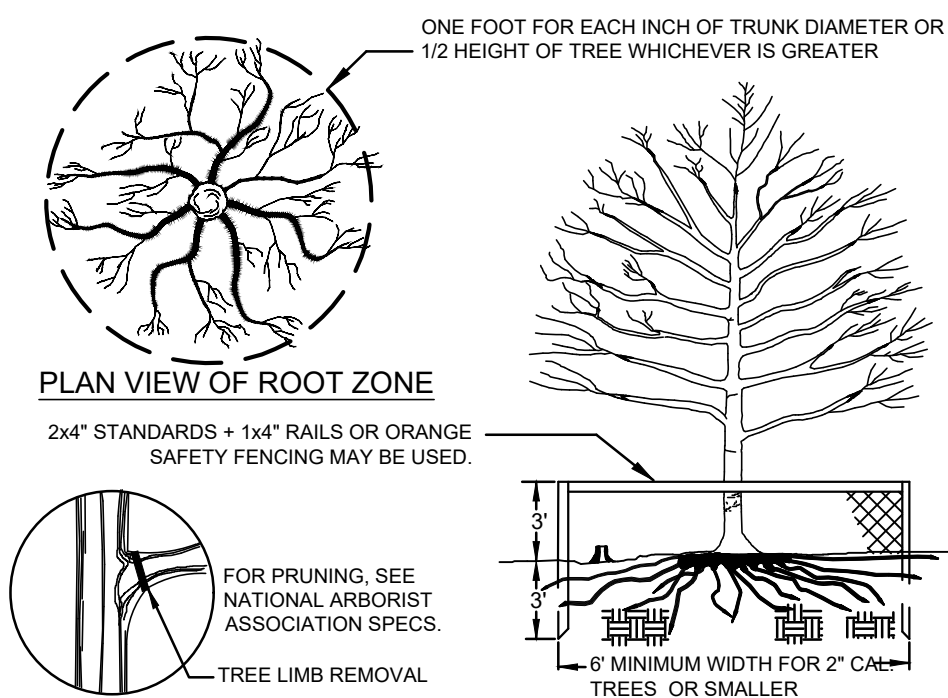
ZONING - RM (MULTI-FAMILY))

SETBACKS -
FRONT - 20'
REAR - 20'
SIDES - 20'

CAUTION

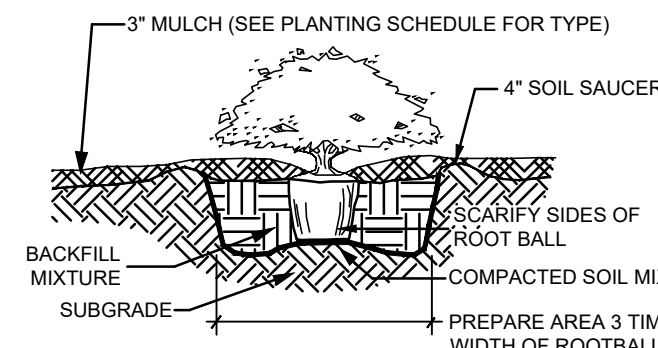


THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITIES SHOWN AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



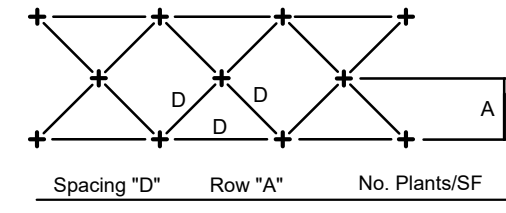
- NOTES:
1. NO CONSTRUCTION ACTIVITY OR STORAGE SHALL BE LOCATED WITHIN THE PROTECTION AREA.
 2. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
 3. SEE PLANS FOR LOCATION AND REQUIRED RADIUS OF ALL TREE PROTECTION FENCES.
 4. DEAD TREES AND SCRUB OR UNDER GROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. NO GRUBBING ALLOWED UNDER DRIP LINE.
 5. PLACE 4" LAYER OF MULCH AT AREAS NOT PROTECTED BY BARRIER.
 6. CONTRACTOR SHALL MAINTAIN TREE PROTECTION FENCE UNTIL FINAL CERTIFICATE OF OCCUPANCY. IF THE P.F. FENCE IS DAMAGED DURING CONSTRUCTION, IT WILL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND NOTIFY LA OF ANY POSSIBLE DAMAGE TO TREES.

TREE PROTECTION ZONE
N.T.S.



- NOTES:
1. REMOVE WIRE, NYLON TWINE OR CONTAINER FROM ROOT BALL.
 2. SCARIFY SIDES AND BOTTOM OF HOLE AS WELL AS THE ROOT BALL.
 3. INSTALL TOP OF BALL 2" ABOVE FINISH GRADE
 4. ROOT BALLS GREATER THAN 2" IN DIAMETER SHALL SIT ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING.
 5. ROOT BALLS SMALLER THAN 2" MAY SIT ON COMPACTED SOIL MIXTURE.
 6. BACKFILL PIT WITH SPECIFIED PLANTING SOIL MIXTURE IN 8" LAYERS, HAND TAMP TO REMOVE VOIDS.
 7. WHEN BACKFILLED, FILL WITH WATER
 8. AFTER BACKFILLING AND TAMPING FINAL LAYER, WATER AGAIN UNTIL NO MORE IS ABSORBED.
 9. 4" SAUCER WILL BE OUTSIDE OF BACKFILL.

SHRUB PLANTING
N.T.S.



Spacing "D"	Row "A"	No. Plants/SF
6" OC	5.20'	4.61
8" OC	6.93'	2.60
10" OC	8.66'	1.68
12" OC	10.40'	1.15
15" OC	13.00'	.738
18" OC	15.50'	.512
24" OC	20.80'	.290
30" OC	26.00'	.195
36" OC	30.00'	.128

- NOTES:
1. THOROUGHLY TILL IN PLANTING SOIL MIXTURE AMENDMENTS TO DEPTH OF 8" ENTIRE PLANTING BED
 2. WORK SOIL TO LOOSE UNIFORM FINE TEXTURE.
 3. HAND TAMP TO REMOVE VOIDS AND AIR POCKETS.
 4. WATER THOROUGHLY AFTER PLANTING UNTIL NO MORE WATER IS ABSORBED.

SHRUB OR GROUNDCOVER SPACING
N.T.S.

GENERAL NOTES & SPECIFICATIONS.

LAWN INSTALLATION: Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4" . Agricultural limestone shall be incorporated into the soil at a rate of 50 pounds per 1000 square feet. Apply specified seed at recommended rate. Straw mulch or hydromulch shall be used as deemed necessary by the Landscape Contractor and Landscape Architect. The Landscape Contractor shall be responsible to establish a full stand of grass and will repair any bare spots 1'- 0" square due to uneven seed distribution, drought or erosion.

SOD INSTALLATION: Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4" . Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replaced by the Landscape Contractor.

UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

QUANTITIES: Plant quantities are shown for the contractor's convenience only. PLANTS SHALL BE INSTALLED AS SHOWN. Contractor is responsible for confirming all quantities prior to bidding and installation.

BIDS: In order to keep all bids standard, all bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.

PLANT QUALITY: All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen). Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended by the Landscape Architect.

PLANTING AREA PREPARATION: Entire planting area shall be scarified and contain amended on-site soil or a soil mix to a depth of no less than 18" (see planting detail for more information.)

SETTING OF PLANTS: The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that after initial settlement, the top root balls will be even with or slightly above the adjacent soil line. Around root balls, 1/2 of the original soil shall be removed from the planting hole and thoroughly mixed with the same quantity peat moss or well rotted, fine textured bark. (Only in areas where the existing soil is 100% fertile, loose topsoil or black in color) can plants be placed directly in the soil with no amendments. PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS: The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep, to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 60% screened sieved topsoil, 20% sand, and 20% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix. All groundcover and seasonal color beds shall receive a 2" layer of fine textured, screened, pine bark mulch, or equal.

PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

FERTILIZING: Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of the plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Ground cover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

STAKING OF TREES: Deciduous trees, 1 1/2" in caliper and over, and evergreen trees, 8' and taller shall be staked. Rubberhose to be used to cover the wire at the point of its contact with the tree. The Landscape Contractor is responsible for all wind damage to trees, (provided winds are less than 60mph) during the guarantee period, and may stake other trees (for his own protection) at his option. TRANSPLANTS: All plant material to be transplanted shall be transplanted according to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

MULCHING: As specified on planting list. Hardwood mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark). Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. Pine straw: All beds to receive a 4" layer (prior to compaction) of pine straw. After natural compaction, pine straw should have a depth of 2". All trees located in lawn areas shall receive a 3' diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines. A weed barrier shall be provided in all bed areas under mulch layer.

GRADING: All final grading shall be the responsibility of the landscape contractor. The responsibility for any additional grading (if needed) shall be determined prior to bidding.

BACKFILL: Landscape contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be included in all bid documents to allow for circumstances that might arise during installation.

STABILIZATION: Landscape contractor shall ensure that all plantings are stabilized with ground covers, mulches or other approved materials to prevent soil erosion and allow rainwater infiltration.

CLEAN UP: Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the landscape contractor.

INSPECTION: It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to installation. All plant material will be inspected. Plants not conforming precisely to the plant list will not be accepted and shall be replaced at the contractor's own expense.

LICENSES: The contractor will be responsible for obtaining all licenses necessary to complete the work.

INSURANCE: With the submittal of bid documents, the landscape contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.

GUARANTEE: All plant material and workmanship to be guaranteed for one year from the date of acceptance by the Owner. Plant replacement to occur only once. The contractor will not be responsible for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents beyond the landscape contractor's control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 miles per hour, fire, vandalism or theft.

IRRIGATION: All planting beds shall be drip irrigated, all sod areas shall be spray irrigated, any other disturbed areas shall be seeded. An automatic irrigation system is required, it will be the responsibility of the contractor to have the system designed and installed. A rain sensor shall be provided.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS		
	CEBR	Cedrus deodara 'Bracken's Best Cedar'	Bracken's Best Deodar Cedar	3" Cal.	4			
	QUPA	Quercus palustris	Pin Oak	3" Cal. 14' Ht.	9	6' Clear Trunk		
	QURU	Quercus rubra	Red Oak	3" Cal. 14' Ht.	6	6' Clear Trunk		
	ULAL	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	3" Cal. 14' Ht.	6	6' Clear Trunk		
	1'-4" EVERGREEN SHRUB	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	AGKA	Abelia x grandiflora 'Kaleidoscope'	Glossy Abelia	3 gal	66	18" Ht. Min.		
	ICCA	Ilex cornuta 'Carissa'	Carissa Holly	3 gal	37	18" Ht. Min.		
	6'+ EVERGREEN SHRUB	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	LIRE	Ligustrum japonicum 'Recurvifolium'	Wax leaf ligustrum	4' Ht.	17			
	ORNAMENTAL TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	LAIN	Lagerstroemia indica	Crape Myrtle	2" Cal. 3 Canes Min.	15	10' Ht Min. 5' Clear Trunk		
	SMALL EVERGREEN TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	MGLG	Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	6' Ht	6			
	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
	LIBI	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal.	24" o.c.	269		

SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
www.sitedesign-inc.com
228 ROCKY CREEK ROAD
DURHAM, NC 27604
PH: (661)271-0086

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SITE DESIGN, INC. NO. C00722

NO. 527

S.C. REG. NO. 527

THE PARK AT HANAHAN

CITY OF HANAHAN
BERKELEY COUNTY
SOUTH CAROLINA

THE PARK AT HANAHAN, LP
3715 NORTHSIDE PKWY, NW
BLDG 400, SUITE 120
ATLANTA, GA 30327

HORIZ. SCALE:	N/A
VERT. SCALE:	N/A
DESIGNED BY:	JAW
DRAWN BY:	JAW
CHECKED BY:	AGB
DATE:	1/8/2021
S200437-LANDSCAPE.dwg	

LANDSCAPE DETAILS

SHEET 14 OF 14
L101

